

**WHITELAND TOWN COUNCIL
RESOLUTION NO. 2023-04**

**A RESOLUTION DECLARING CERTAIN AREA WITHIN THE TOWN OF
WHITELAND AN ECONOMIC REVITALIZATION AREA AND QUALIFYING
CERTAIN REAL PROPERTY IMPROVEMENTS FOR TAX ABATEMENT AND
SETTING THE TIME AND PLACE FOR A PUBLIC HEARING**

(Axis Group LLC)

WHEREAS, the Town of Whiteland, Indiana, (the “Town”), recognizes the need to stimulate growth and maintain a sound economy within its corporate limits;

WHEREAS, the Whiteland Town Council further recognizes that it is in the best interest of the Town of Whiteland to provide incentives to stimulate investment within the community;

WHEREAS, Ind. Code § 6-1.1-12.1 *et. seq.* provides for a program of real and personal property tax abatement within Economic Revitalization Areas (“ERA”) and provides for the adoption of such a program;

WHEREAS, the Whiteland Town Council desires to establish such an ERA within the Town of Whiteland;

WHEREAS, the approximately 2.173 acres of property located on N. Graham Road, in Whiteland, Indiana, identified as Parcel No. 41-05-26-024-001.000-028, and more particularly described and depicted on Exhibit A attached hereto and incorporated herein (the “Real Estate”) has become undesirable for, or impossible of, normal development and occupancy because of a lack of development, cessation of growth, deterioration of improvements or character of occupancy, age, obsolescence, substandard buildings or other factors which have impaired values or prevented a normal development of property or use of property;

WHEREAS, Axis Group LLC (hereafter “Axis” or “Applicant”) proposes to redevelop the Real Estate as the term is contemplated by Ind. Code § 6-1.1-12.1-1(5), and requests an economic revitalization area designation of the Real Estate;

WHEREAS, Axis intends to construct a single, approximately 13,600 square foot building which will facilitate a new business for industrial and commercial use (the “Project”).

WHEREAS, Axis has invested approximately \$80,000 for the acquisition of land for the Project, and proposes to invest approximately \$2,200,000 for the building and other improvements on the Real Estate, which Project will retain 50 current employees, and once completed, will create 10 additional employment positions and additional payroll in the Town;

WHEREAS, Axis has filed its Statement of Benefits Real Estate Improvements (SB-1 / Real Property) with the Town and submitted its Application for Property Tax Abatement, which are attached hereto as part of composite Exhibit B (the “Application”); and

WHEREAS, the Whiteland Town Council has reviewed the Statement of Benefits Real Estate Improvements (SB-1 / Real Property) form and been otherwise duly advised and has determined that it is in the best interests of the Town to allow the deductions for the Real Estate improvements described in the Application.

NOW, THEREFORE, BE IT RESOLVED BY THE WHITELAND TOWN COUNCIL THAT:

Section 1. The area legally described and depicted on the attached Exhibit A is found to be an area within Whiteland Town Council jurisdiction and meets the statutory criteria of an Economic Revitalization Area.

Section 2. The area legally described and depicted on the attached Exhibit A is hereby declared an Economic Revitalization Area to be known as the “Axis Group Economic Revitalization Area.”

Section 3. The Whiteland Town Council hereby determines that it is in the best interest of the Town to allow the deduction under Ind. Code § 6-1.1-12.1-3 for the real estate improvements within the above-designated ERA, as requested in the Application, based upon the following findings:

- (1) The estimate of the value of the redevelopment of the Real Estate is reasonable for projects of that nature.
- (2) The estimate of the number of individuals who will be employed can be reasonably expected to result from the proposed described redevelopment.
- (3) The estimate of the annual salaries of the individuals who will be employed can be reasonably expected to result from the proposed described redevelopment.
- (4) The nature of the improvements and the projected property taxes to be paid, create benefits of the type and quality anticipated by the Whiteland Town Council within the above-designated ERA and can reasonably be expected to result from the proposed described redevelopment.
- (5) The totality of benefits is sufficient to justify the deductions.

Section 4. The Application for Real Property Tax Abatement and Statements of Benefits Real Estate Improvements (Form SB-1 / Real Property) as submitted are hereby approved.

Section 5. The owner of the real estate improvements constructed within the above-designated ERA shall be entitled to the deductions provided by Ind. Code § 6-1.1-12.1-3 for a period of ten (10) years with respect to real estate improvements constructed as contemplated by and reflected in the Application, according to the following schedule:

Year 1: 100%	Year 6: 40%
Year 2: 95%	Year 7: 30%
Year 3: 80%	Year 8: 20%
Year 4: 65%	Year 9: 10%
Year 5: 50%	Year 10: 5%

Section 6. In consideration of the value of the property tax deductions granted to Axis by the Town, Axis agrees and commits, for itself and future owners of the Real Estate, to not file any real property tax assessment appeal, review, or other challenge (“Appeal”) of the real property tax assessments made for the Real Estate during the time periods for which real property tax deductions are authorized in relation to this Resolution, unless (i) the assessed value of the Real Estate exceeds the total actual investment in the Real Estate (including, but not limited to, the purchase price and the costs of any improvements), (ii) significant damage to the physical condition of the Real Estate has occurred that would reasonably affect the assessed value of the Real Estate, or (iii) the construction of the Project has been completed and fully assessed and the Real Estate’s assessment has increased by more than five percent (5%) over the prior year’s fully assessed value; that in the event Axis or another owner of the Real Estate desires to file such an Appeal, Axis or the owner of the Real Estate shall provide the Town with a copy of the Appeal within five (5) business days of the filing of the appeal; that violation of the restrictions on and conditions applicable to an Appeal shall permit the Town to terminate the property tax deductions; and that this paragraph shall run with the Real Estate and be binding on future owners of the Real Estate to the extent allowed by law.

Section 7. Two (2) copies of the Axis Group Economic Revitalization Area map shall be on file in the Office of the Clerk-Treasurer of Whiteland, Indiana, and the Town Council directs the Clerk-Treasurer to maintain for public inspection the two (2) copies in the files of the Clerk-Treasurer.

Section 8. Notice of the adoption and the substance of this Resolution as required by Ind. Code § 6-1.1-12.1-2.5 shall be published in accordance with Ind. Code § 5-3-1, which notice shall advise that at the Whiteland Town Council’s meeting on May 19, 2023 at 7:00 p.m., or at such other date and time as proper notice is given, the Council will receive and hear all remonstrance and objections from interested persons, and, having heard and considered same, will act to rescind, modify and confirm, or confirm this Resolution. All other disclosures and filings required by Ind. Code § 6-1.1-12.1-2.5 shall also be timely accomplished.

Section 9. A copy of the above-referenced notice of adoption and a statement containing substantially the same information as the Statement of Benefits Real Estate Improvements included in composite Exhibit B shall be filed with the officers of each taxing unit that has authority to levy property taxes in the geographic area which is hereby allowed deductions, at least ten (10) days prior to the public hearing on this Resolution.

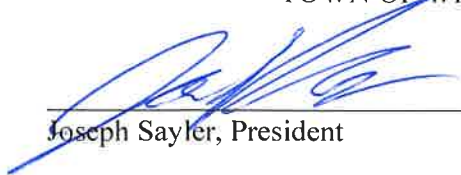
Section 10. A copy of this Resolution shall be filed with the Johnson County Assessor’s Office and made available at that office for public inspection.

Section 11. The sections, paragraphs, sentences, clauses, and phrases of this Resolution are separable, and if any phrase, clause, sentence, paragraph or section of this Resolution shall be

declared unconstitutional, invalid or unenforceable by the valid judgment or decree of a court of competent jurisdiction, such unconstitutionality, invalidity, or unenforceability shall not affect any of the remaining phrases, clauses, sentences, paragraphs and section of this Resolution, and a suitable and equitable provision shall be substituted for such provision in order to carry out, so far as may be valid and enforceable, the intent and purpose of the provision and this Resolution.


5 DULY PASSED AND ADOPTED on the 18 day of April, 2023, by a vote of 5 in favor and 0 against.

TOWN OF WHITELAND, INDIANA, TOWN COUNCIL



Joseph Sayler, President

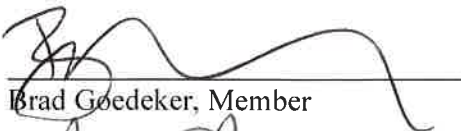
VOTING IN FAVOR



Joseph Sayler, President



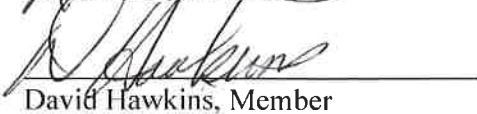
Richard Hill, Vice-President



Brad Goedeker, Member



Laura Fleury, Member



David Hawkins, Member

VOTING OPPOSED

Joseph Sayler, President

Richard Hill, Vice-President

Brad Goedeker, Member

Laura Fleury, Member

David Hawkins, Member

ATTEST:



Debra L. Hendrickson, Clerk-Treasurer

Exhibit A

Legal Description of Axis Group Economic Revitalization Area

A part of the East Half of the Northwest Quarter of Section 26, Township 13 North, Range 4 East of the Second Principal Meridian, Johnson County, Indiana, more particularly described as follows:

Commencing at a Mag nail with washer marking the Northwest corner of the East Half of said Northwest Quarter per Johnson County Surveyor's Records; thence South 00 degrees 21 minutes 50 seconds East (assumed bearing) 1606.81 feet (1602.55 feet prior deed) coincident with the West line of said East Half Quarter to the Northwest corner of a 2.848 acre tract of land as described in a deed recorded as Instrument No. 2000-000474 in the Office of the Recorder of said Johnson County, Indiana; thence continuing South 00 degrees 21 minutes 50 seconds East 69.11 feet coincident with the West line of said East Half Quarter to a Mag nail with washer (P&H 890026) marking the Point of Beginning of the property herein described; thence North 89 degrees 06 minutes 44 seconds East 425.00 feet parallel with the North line of said 2.848 acre tract to a capped rebar (P&H 890026); thence South 00 degrees 21 minutes 50 seconds East 222.75 feet parallel with the West line of said East Half Quarter and coincident with the East line of said 2.848 acre tract to a capped rebar (P&H 890026); thence South 89 degrees 06 minutes 44 seconds West 425.000 feet coincident with the South line of said 2.848 acre tract to a Mag nail with washer (P&H 890026) on the West line of said East Half Quarter; thence North 00 degrees 21 minutes 50 seconds West 222.75 feet coincident with said West line to the Point of Beginning, containing 2.173 acres.

Depiction of Axis Group Revitalization Area



Exhibit B

Application for Property Tax Abatement

[See attached]

TAX ABATEMENT APPLICATION CHECKLIST

Please include all of the following documents together at the time of submittal (submission via e-mail as a single electronic PDF file is preferred):

- Completed Tax Abatement Application Form
- Completed and Signed Statement of Benefits Form (SB-1 Form, latest version to be obtained from State website)
- Legal Description and Map Depicting Location of Property
- Site Plan and Elevation Renderings of Real Property Improvements
- Financial Worksheet I
- Summary of Tax and Abatement Projections
- Signed Signature Page

APPLICATION FOR PROPERTY TAX ABATEMENT

Person/Organization/Entity Requesting Abatement (Applicant)

Name: Axis Group LLC

Address: 1340 Round Lake Rd

City: Greenwood State: IN Zip: 46143

Primary Contact: Jason Madden Title: COO

Phone: 317-360-9433 Email: jason.madden@axisfibersolutions.com

Property Owner (if different)

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Primary Contact: _____ Title: _____

Phone: _____ Email: _____

Description of Project

Project Location/Address: N. Graham Road, Whiteland, IN 46184

Parcel Number: 41-05-26-024-001.000-028

Brief Description of Project: The parent company of Axis Group LLC will be moving its operations to this single building in November of 2023. The improvements constitute parking areas, green space and a 13,600 square foot building.

Current Zoning of Property: R-1 rezoned to Commercial/Industrial

Current Assessed Value of Property:

Land: 28,300

Building: N/A

Equipment: N/A

Brief Company History: Formed on March 28, 2018, Axis Group LLC was formed as real estate holding company to purchase the property in question and to act as Tenant for the parent company CTSI LLC doing business as Axis Fiber Solutions. Axis Group LLC purchased materials for the building, engaged the firm to develop the plans and will remain as the owner of the land and building.

Project Details

Requested Abatement (circle as applicable):

1) Real Property 2) Personal Property 3) Both 4) Vacant Building

Length of Abatement Requested: 10 years

Abatement Schedule Requested: 1) Standard X 2) Custom (please attach)

Type of Facility: Office/Warehouse/Garage

Facility Size (Sq. Ft.): 13,600 Site Size (acres): 2.173 ac

Will Real Estate be Leased or Purchased: Purchased -7/27/18

Anticipated Closing Date: Already Purchased

Projected Construction Start Date: April 1, 2023

Projected Operations Start Date: November, 2023

Latest Date Shell of Building will be completed: July 31, 2023

Project will be: (a) new business (c) relocation in Indiana
 (b) new expansion (d) relocation from out of state
 (e) Other: _____

Will project be developed in stages: (a) yes (b) no

If yes, explain: _____

What are the projected investments and jobs goals?

Land: _____ \$80,000
 Improvements: _____ \$2.1 million
 Machinery/Equipment: _____
 Jobs Retained: _____ 50
 Jobs Created: _____ 10

If applicant is a corporation:

What is the State of incorporation: _____
 In what states is the corporation licensed to do business: _____

Which approvals or permits will this project require?

(a) Zoning change (e) Variance
 (b) Annexation (f) Special exception
 (c) Plat approval (g) Building permit
 (d) Development plan (h) Other _____

Will additional public facilities/infrastructure be required? 1) YES 2) NO

If yes, please describe and state who is installing: _____

Provide names of any parent, subsidiary, and/or affiliated entities:

CTSI, LLC d/b/a Axis Fiber Solutions

Do you have legal counsel: 1) YES 2) NO

If yes:

Firm: Paul M. Pittman PC
Contact: Paul M. Pittman
Address: 7748 Madison Ave, Ste A, Indianapolis, IN 46227
Phone: 317-636-5561
Email: ppittman@ppittman.com

Explain why abatement is necessary for this project:

Axis Group, LLC plans to purchase and build on land adjacent to this property and lease it to additional tenants, attracting additional jobs and personal property tax dollars to the area. The tax abatement will allow Axis Group to move forward with that plan and will also allow the company to charge market-level rent to tenants.

WORKSHEET NO. 1

ESTIMATED TAX ABATEMENT IMPACT - 10 YEARS

Project Name: Axis Risk Solutions - New Operations Building
 Location: N Graham Road, Westfield, Indiana
 Tax District Number: 28
 Current Date: 11-Mar-23

CURRENT	PROPOSED
RE TAX RATE	RE TAX RATE
2.3912	2.3912

Land	Land
2.173 Ac	2.173 Acres
\$ 28,300.00 Assessed Value	\$ 200,000.00 Estimated Assessed Value
\$ 725.00 Assessed Taxes paid	\$ 4,782.40 Estimated Annual Taxes
	\$ 47,824.00 Over 10 years

Bldg - not built as of 3.7.23	Building
13,600 Square Feet	
	\$ 2,200,000.00 Projected Investment
	\$ 2,200,000.00 Est. Assessed Value
	\$ 52,606.40 Est. Annual Taxes

Buildings	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	TOTALS
Abatement Rate	100%	95%	90%	85%	50%	40%	30%	20%	10%	5%	
Amount/Abated	\$ 52,606.40	\$ 49,976.08	\$ 42,085.12	\$ 34,194.16	\$ 26,303.20	\$ 21,042.56	\$ 15,781.92	\$ 10,521.28	\$ 5,260.64	\$ 2,630.32	\$ 260,401.68
Taxes Due	\$ -	\$ 2,630.32	\$ 10,521.28	\$ 18,412.24	\$ 26,303.20	\$ 31,563.84	\$ 36,824.48	\$ 42,085.12	\$ 47,345.76	\$ 49,975.08	\$ 285,662.32

Manufacturing Equipment

Taxes w/o Abatement	\$ 526,064.00	Taxes W/ Abatement	\$ 265,662.32
Taxes on new Non-Manufacturing Equipment	\$ 50,000.00	Ten Year Total Paid	\$ 260,401.68
		Ten Year Total Abatement	\$ 260,401.68

Other Taxes
 Increased Taxes on Land After Development- 10 YEAR TOTAL \$ 40,574.00
 Taxes on New NonManufacturing Equipment- TEN YEAR TOTAL \$50,000.00 Estimate only

Ten Year Total - Other Taxes \$ 90,574.00

Projected Annual Real Estate Taxes	\$ 57,388.80
Projected Real Estate Taxes- 10 years	\$ 573,888.00
Tax Abatement	\$ 260,401.68
Less Estimated Real Property Tax Abatement	\$ 313,486.32

**Summary of Tax and Abatement Projections for Abatement
Over 10 Year Period**

(Should be based on Worksheet No. 1)

Duration of Requested Abatement: 10 Years


I. <u>Current Conditions:</u>	
A.	Current Annual Real Estate Taxes: <u>\$ 725.00</u>
B.	Current Annual Personal Property Taxes: <u>\$12,200.00</u>
C.	Combined Total: <u>\$12,975.00</u>
D.	Projected Combined Total (Over 10 Year Period): <u>\$129,750.00</u>
II. <u>Calculation of Property Taxes, after Development, Without Abatement, Over 10 Year Period:</u>	
A.	Projected Annual Real Estate Taxes: <u>\$57,388.80</u>
B.	Projected Annual Personal Property Taxes: <u>\$17,000.00</u>
C.	Combined Annual Total: <u>\$74,388.80</u>
D.	Combined Total Over 10 Year Period: <u>\$743,888.00</u>
III. <u>Calculation of Projected Property Taxes, after Development, With Abatement, Over 10 Year Period:</u>	
A.	Estimated Real Estate Taxes (Land and Improvements) (without Abatement): <u>\$573,888.00</u>
B.	Less Estimated Real Property Tax Abatement: <u>\$260,401.68</u>
C.	Estimated Personal Property Taxes (without Abatement): <u>\$170,000.00</u>
D.	Less Estimated Personal Property Tax Abatement: <u>\$170,000.00</u>
<u>Projected Totals Over 10 Year Period</u>	
E.	Total Taxes to be Paid: <u>\$483,486.32</u>
F.	Total Taxes Abated: <u>\$265,662.32</u>
G.	Projected Increased Taxes to be Paid coming from Land only after Development, over 10 Years (not eligible for abatement): <u>\$40,574.00</u>

Signature Page

In the event the Application is for real property tax abatement, in consideration for the value of the property tax deductions that may be granted in relation to this Application, and by signing below, the Applicant understands, agrees, and commits, for itself and future owners of the Real Estate; to not file any real property tax assessment appeal, review, or other challenge ("Appeal") of the real property tax assessments made for the Real Estate during the time periods for which real property tax deductions are authorized in relation to this Application, unless (i) the assessed value of the Real Estate exceeds the total actual investment in the Real Estate (including, but not limited to, the purchase price and the costs of any improvements), (ii) significant damage to the physical condition of the Real Estate has occurred that would reasonably affect the assessed value of the Real Estate, or (iii) the construction of the Project has been completed and fully assessed and the Real Estate's assessment has increased by more than five percent (5%) over the prior year's fully assessed value; that in the event Applicant or another owner of the Real Estate desires to file such an Appeal, Applicant or the owner of the Real Estate shall provide the Town with a copy of the Appeal within five (5) business days of the filing of the appeal; that violation of the restrictions on and conditions applicable to an Appeal shall permit the Town to terminate the property tax deductions; and that this paragraph shall run with the Real Estate and be binding on future owners of the Real Estate to the extent allowed by law.

In the event the Application is for personal property tax abatement, in consideration for the value of the property tax deductions that may be granted in relation to this Application, and by signing below, the Applicant understands, agrees, and commits, for itself and future owners of the Personal Property, to not file any personal property tax assessment appeal, review, or other challenge ("Appeal") of the personal property tax assessments made for the Personal Property during the time periods for which personal property tax deductions are authorized under this Resolution, unless the Personal Property tax return is modified by the Assessor or Auditor from the original filing. In the event Applicant or another owner of the Personal Property desires to file such an Appeal, Applicant or the owner of the Personal Property shall provide the Town with a copy of the Appeal within five (5) business days of the filing of the Appeal. Violation of the restrictions on and conditions applicable to an Appeal shall permit the Town to terminate the property tax deductions authorized under this Resolution. This paragraph shall run with the Real Estate and be binding on future owners of the Personal Property to the extent allowed by law.

As an authorized representative of the Applicant, I hereby certify, under penalties for perjury, that the information and representations made in this Application and the attached supporting documents are true and accurate to the best of my knowledge and belief, and hereby acknowledge the agreements and commitments contained in this Application.


Signature of Applicant

Printed: Jason Madden

Title: COO

Dated: 03-28-2023



STATEMENT OF BENEFITS REAL ESTATE IMPROVEMENTS

State Form 51767 (R6 /10-14)
Prescribed by the Department of Local Government Finance

20 <u>23</u> PAY 20 <u>24</u>
FORM SB-1 / Real Property
PRIVACY NOTICE
Any information concerning the cost of the property and specific salaries paid to individual employees by the property owner is confidential per IC 6-1.1-12.1-5.1.

This statement is being completed for real property that qualifies under the following Indiana Code (check one box):

- Redevelopment or rehabilitation of real estate improvements (IC 6-1.1-12.1-4)
- Residentially distressed area (IC 6-1.1-12.1-4.1)

INSTRUCTIONS:

- This statement must be submitted to the body designating the Economic Revitalization Area prior to the public hearing if the designating body requires information from the applicant in making its decision about whether to designate an Economic Revitalization Area. Otherwise, this statement must be submitted to the designating body BEFORE the redevelopment or rehabilitation of real property for which the person wishes to claim a deduction.
- The statement of benefits form must be submitted to the designating body and the area designated an economic revitalization area before the initiation of the redevelopment or rehabilitation for which the person desires to claim a deduction.
- To obtain a deduction, a Form 322/RE must be filed with the County Auditor before May 10 in the year in which the addition to assessed valuation is made or not later than thirty (30) days after the assessment notice is mailed to the property owner if it was mailed after April 10. A property owner who failed to file a deduction application within the prescribed deadline may file an application between March 1 and May 10 of a subsequent year.
- A property owner who files for the deduction must provide the County Auditor and designating body with a Form CF-1/Real Property. The Form CF-1/Real Property should be attached to the Form 322/RE when the deduction is first claimed and then updated annually for each year the deduction is applicable. IC 6-1.1-12.1-5.1(b)
- For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. For a Form SB-1/Real Property that is approved prior to July 1, 2013, the abatement schedule approved by the designating body remains in effect. IC 6-1.1-12.1-17

SECTION 1 TAXPAYER INFORMATION					
Name of taxpayer Axis Group LLC					
Address of taxpayer (number and street, city, state, and ZIP code) 1340 Round Lake Road					
Name of contact person Jason Madden		Telephone number (317) 360-9433		E-mail address jason.madden@axissolutions.com	
SECTION 2 LOCATION AND DESCRIPTION OF PROPOSED PROJECT					
Name of designating body Whiteland Town Council				Resolution number	
Location of property N. Graham Road, Whiteland, IN 46184		County Johnson		DLGF taxing district number 028	
Description of real property improvements, redevelopment, or rehabilitation (use additional sheets if necessary)				Estimated start date (month, day, year) 4/01/23	
				Estimated completion date (month, day, year) 11/30/23	
SECTION 3 ESTIMATE OF EMPLOYEES AND SALARIES AS RESULT OF PROPOSED PROJECT					
Current number 50.00	Salaries \$2,175,000.00	Number retained 50.00	Salaries \$2,175,000.00	Number additional 10.00	Salaries \$800,000.00
SECTION 4 ESTIMATED TOTAL COST AND VALUE OF PROPOSED PROJECT					
			REAL ESTATE IMPROVEMENTS		
			COST		ASSESSED VALUE
Current values			0.00		0.00
Plus estimated values of proposed project			2,200,000.00		2,200,000.00
Less values of any property being replaced			0.00		
Net estimated values upon completion of project			2,200,000.00		2,200,000.00
SECTION 5 WASTE CONVERTED AND OTHER BENEFITS PROMISED BY THE TAXPAYER					
Estimated solid waste converted (pounds) 0.00			Estimated hazardous waste converted (pounds) 0.00		
Other benefits Land converted from residential to commercial results in an immediate increase in assessed value. The sizable investment in the improvements of this project will also result in higher assessed values and additional tax dollars to the Town of Whiteland. The addition of jobs and expansion to neighboring land with additional improvements and new businesses as tenants will also be additional benefits to the Town of Whiteland.					
SECTION 6 TAXPAYER CERTIFICATION					
I hereby certify that the representations in this statement are true.					
Signature of authorized representative 				Date signed (month, day, year) 03-28-2023	
Printed name of authorized representative Jason Madden			Title COO		

FOR USE OF THE DESIGNATING BODY

We find that the applicant meets the general standards in the resolution adopted or to be adopted by this body. Said resolution, passed or to be passed under IC 6-1.1-12.1, provides for the following limitations:

- A. The designated area has been limited to a period of time not to exceed _____ calendar years* (see below). The date this designation expires is _____.
- B. The type of deduction that is allowed in the designated area is limited to:
 - 1. Redevelopment or rehabilitation of real estate improvements Yes No.
 - 2. Residentially distressed areas Yes No
- C. The amount of the deduction applicable is limited to \$ _____.
- D. Other limitations or conditions (specify) _____.
- E. Number of years allowed:
 - Year 1 Year 2 Year 3 Year 4 Year 5 (* see below)
 - Year 6 Year 7 Year 8 Year 9 Year 10
- F. For a statement of benefits approved after June 30, 2013, did this designating body adopt an abatement schedule per IC 6-1.1-12.1-17?
 - Yes No
 - If yes, attach a copy of the abatement schedule to this form.
 - If no, the designating body is required to establish an abatement schedule before the deduction can be determined.

We have also reviewed the information contained in the statement of benefits and find that the estimates and expectations are reasonable and have determined that the totality of benefits is sufficient to justify the deduction described above.

Approved (signature and title of authorized member of designating body)	Telephone number ()	Date signed (month, day, year)
Printed name of authorized member of designating body	Name of designating body	
Attested by (signature and title of attester)	Printed name of attester	

* If the designating body limits the time period during which an area is an economic revitalization area, that limitation does not limit the length of time a taxpayer is entitled to receive a deduction to a number of years that is less than the number of years designated under IC 6-1.1-12.1-17.

- A. For residentially distressed areas where the Form SB-1/Real Property was approved prior to July 1, 2013, the deductions established in IC 6-1.1-12.1-4.1 remain in effect. The deduction period may not exceed five (5) years. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. The deduction period may not exceed ten (10) years. (See IC 6-1.1-12.1-17 below.)
- B. For the redevelopment or rehabilitation of real property where the Form SB-1/Real Property was approved prior to July 1, 2013, the abatement schedule approved by the designating body remains in effect. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. (See IC 6-1.1-12.1-17 below.)

IC 6-1.1-12.1-17

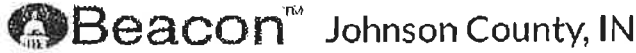
Abatement schedules

Sec. 17. (a) A designating body may provide to a business that is established in or relocated to a revitalization area and that receives a deduction under section 4 or 4.5 of this chapter an abatement schedule based on the following factors:

- (1) The total amount of the taxpayer's investment in real and personal property.
 - (2) The number of new full-time equivalent jobs created.
 - (3) The average wage of the new employees compared to the state minimum wage.
 - (4) The infrastructure requirements for the taxpayer's investment.
- (b) This subsection applies to a statement of benefits approved after June 30, 2013. A designating body shall establish an abatement schedule for each deduction allowed under this chapter. An abatement schedule must specify the percentage amount of the deduction for each year of the deduction. An abatement schedule may not exceed ten (10) years.
- (c) An abatement schedule approved for a particular taxpayer before July 1, 2013, remains in effect until the abatement schedule expires under the terms of the resolution approving the taxpayer's statement of benefits.

2/20/23, 11:30 AM

Beacon - Johnson County, IN - Parcel Report: 41-05-26-024-001.000-028



Summary

Parcel ID 41-05-26-024-001.000-028
 Tax ID 41-05-26-024-001.000-028
 Section Plat 26
 Routing Number CLARK PLEASANT
 Neighborhood 4171201 - RURAL RES & AG PLEASANT TWP
 Property Address N Graham Rd
 Whiteland, IN 46184
 Legal Description PTE 1/2 NW 1/4 S26 T13R4
 (Note: Not to be used on legal documents.)
 Acreage 2.173
 Class Res Vacant unplatted 0-9.99ac
 (Note: This is an Assessor's classification, not a zoning district.)
 Tax District/Area 028 - WHITELAND TOWN - WHITELAND FPD - PLEASANT TWP

Owners

Deeded Owner
 AXIS GROUP LLC
 1340 Round Lake Rd
 Greenwood, IN 46143

Land

Land Type	Soil ID	Actual Front	Acreage	Effect. Front	Effect. Depth	Prod Factor	Depth Factor	Meas Sq Ft
RESIDENTIAL EXCESS ACREAGE			2.173			1.00	1.00	94,656

Farm Land Computations

Parcel Acreage 2.173
 81 Legal Drain NV [-]
 82 Public Roads NV [-]
 83 UT Towers NV [-]
 9 Homesite(s) [-]
 Total Acres Farmland
 True Tax Value 0.00
 Measured Acres
 Average True Tax Value/Acre 0.00
 True Tax Value Farmland 0.00
 Classified Land Total 0
 Homesite(s) Value (+) 0.00
 Total Land Value 28,300.00

Transfers

Date	Owner 1	Owner 2	Book & Page	Amount
7/27/2018	RAYBURN CARL J			\$80,000

Transfer History

Date	Transfer From	Instrument	Book	Page	Doc Nbr
7/27/2018					2018018500

Valuation

Assessment Year		01/01/2022	01/01/2021	01/01/2020	01/01/2019
Reason for Change		Annual	Annual	Annual	Annual
VALUATION (Assessed Value)	Land	\$28,300	\$28,300	\$28,300	\$28,300
	Improvements	\$0	\$0	\$0	\$0
	Total	\$28,300	\$28,300	\$28,300	\$28,300
VALUATION (True Tax Value)	Land	\$28,300	\$28,300	\$28,300	\$28,300
	Improvements	\$0	\$0	\$0	\$0
	Total	\$28,300	\$28,300	\$28,300	\$28,300

Tax History

	2021 Pay 2022	2020 Pay 2021	2019 Pay 2020
+ Spring Tax	\$347.34	\$359.92	\$365.21
+ Spring Penalty	\$0.00	\$35.99	\$0.00

2/20/23, 11:30 AM

Beacon - Johnson County, IN - Parcel Report. 41-05-26-024-001.000-028

	2021 Pay 2022	2020 Pay 2021	2019 Pay 2020
+ Spring Annual	\$0.00	\$0.00	\$0.00
+ Fall Tax	\$347.34	\$359.92	\$365.21
+ Fall Penalty	\$0.00	\$35.99	\$0.00
+ Fall Annual	\$0.00	\$0.00	\$0.00
+ Delq NTS Tax	\$359.92	\$0.00	\$0.00
+ Delq NTS Pen	\$35.99	\$0.00	\$0.00
+ Delq TS Tax	\$359.92	\$0.00	\$0.00
+ Delq TS Pen	\$35.99	\$0.00	\$0.00
+ Other Assess	\$21.00	\$11.00	\$10.00
+ Advert Fee	\$0.00	\$0.00	\$0.00
+ Tax Sale Fee	\$0.00	\$0.00	\$0.00
+ NSF Fee	\$0.00	\$0.00	\$0.00
PTRC	\$0.00	\$0.00	\$0.00
HIMST Credit	\$0.00	\$0.00	\$0.00
Circuit Breaker	\$0.00	\$0.00	\$0.00
Over 65 CB	\$0.00	\$0.00	\$0.00
= Charges	\$1,507.50	\$802.82	\$740.42
- Surplus Transfer	\$0.00	\$0.00	\$0.00
- Credits	(\$1,507.50)		(\$740.42)
= Total Due	\$0.00	\$802.82	\$0.00

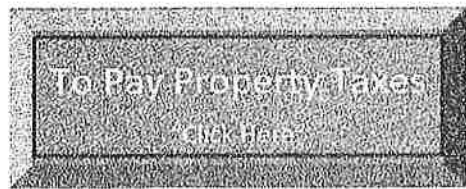
Property Record Card



Payments

Year	Receipt #	Transaction Date	Amount
2021 Pay 2022	1783819	11/7/2022	\$347.34
2021 Pay 2022	1724402	5/9/2022	\$357.34
2021 Pay 2022	1666895	3/4/2022	\$802.82
2020 Pay 2021			\$0.00
2019 Pay 2020	1539327	11/10/2020	\$365.21
2019 Pay 2020	1501480	5/11/2020	\$375.21

Pay Taxes Online



Apply for Homestead Deduction

[Apply online for Indiana Homestead Exemption Deduction](#)

[This is an affidavit, click here to view instructions and affidavit](#)

No data available for the following modules: Residential Dwellings, Improvements, Deductions.

Beacon is a registered trademark of Schneider Corporation. All rights reserved. Beacon is a registered trademark of Schneider Corporation. All rights reserved. Beacon is a registered trademark of Schneider Corporation. All rights reserved.

[Use Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 2/20/2023 5:19:39 AM



APPN 131797

From: Paul Pittma

ADMINISTRATIVE INFORMATION
 PARCEL NUMBER
 41-05-26-024-001.000-028
 Parcel Number
 41-05-26-024-011.001-028
 Property Address
 N 3245th RD
 N 3245th RD

OWNERSHIP
 AXIS GROUP LLC
 1340 ROUND LAKE RD
 GREENWOOD, IN 46113-7035 UNITED STATES OF AMERICA
 PT B 1/2 NW 1/4 S26 T13 R4

Tax ID 41-05-26-024-001.000-028
TRANSFER OF OWNERSHIP
 Date 07/27/2016
 EAYBORN CARL J
 8 S
 Doc #: 2018018500
 \$66900

RESIDENTIAL

VALUATION RECORD

Assessment Year 01/01/2019 01/01/2020 01/01/2021 01/01/2022
 Reason for Change
 VALUATION L Annual 28300 Annual 28300 Annual 28300 Annual 28300
 Appraised Value B 0
 VALUATION T 28300 28300 28300 28300
 True Tax Value E 0 0 0 0
 Topography: T 28300 28300 28300 28300

LAND DATA AND CALCULATIONS

Rating	Measured	Table	Prod. Factor	Base	Adjusted	Extended	Influence	Value
-or-	-or-	-or-	-or-	-or-	-or-	-or-	-or-	-or-
SOIL ID	Areaage	Depth	Square Feet	Rate	Rate	Value	Factor	
1	2.1730		1.00	13000.00	13000.00	28250		28250

Supplemental Cards
 MEASURED AVERAGE 2.1730

Supplemental Cards
 TRUE TAX VALUE 28250

Supplemental Cards
 TOTAL LAND VALUE 28300

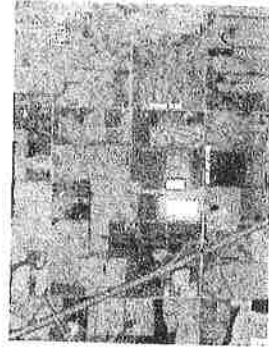
IMAGE/COPY PROPERTY OF JOHNSON COUNTY, INDIANA. NOT FOR RESALE PURSUANT TO I.C. 36-2-7-10

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s):

A part of the East Half of the Northwest Quarter of Section 26, Township 13 North, Range 4 East of the Second Principal Meridian, Johnson County, Indiana, more particularly described as follows:

Commencing at a Mag nail with washer marking the Northwest corner of the East Half of said Northwest Quarter per Johnson County Surveyor's Records; thence South 00 degrees 21 minutes 50 seconds East (assumed bearing) 1606.81 feet (1606.55 feet prior deed) coincident with the West line of said East Half Quarter to the Northwest corner of a 2.848 acre tract of land as described in a deed recorded as Instrument No. 2000-000474 in the Office of the Recorder of said Johnson County, Indiana; thence continuing South 00 degrees 21 minutes 50 seconds East 69.11 feet coincident with the West line of said East Half Quarter to a Mag nail with washer (P&H 890026) marking the Point of Beginning of the property herein described; thence North 89 degrees 06 minutes 44 seconds East 425.00 feet parallel with the North line of said 2.848 acre tract to a capped rebar (P&H 890026); thence South 00 degrees 21 minutes 50 seconds East 222.75 feet parallel with the West line of said East Half Quarter and coincident with the East line of said 2.848 acre tract to a capped rebar (P&H 890026); thence South 89 degrees 06 minutes 44 seconds West 425.00 feet coincident with the South line of said 2.848 acre tract to a Mag nail with washer (P&H 890026) on the West line of said East Half Quarter; thence North 00 degrees 21 minutes 50 seconds West 222.75 feet coincident with said West line to the Point of Beginning, containing 2.173 acres.



SITE LOCATION MAP NTS

AXIS FIBER SOLUTIONS

AXIS BUILDING 1

Graham Road
Whiteland, Indiana 46184

CIVIL ENGINEER:
TESCO ENGINEERING
9965 CROSSPOINT BLVD, STE 100
INDIANAPOLIS, INDIANA 48256
Telephone: (317) 691-6294

ARCHITECT OF RECORD:
PRECEPT, LLC
2209 EMERALD PINES BLVD.
WESTFIELD, INDIANA 46074
Telephone: (317) 627-1883

GENERAL CONTRACTOR
COMMERCIAL TEAM CONSTRUCTION
1715 S FRANKLIN ROAD
INDIANAPOLIS, INDIANA 46239
Telephone: (317) 782-8300

DRAWING INDEX

NO.	DESCRIPTION	DATE	BY	CHKD.
1	STRUCTURAL			
2	CIVIL			
3	MECHANICAL			
4	ELECTRICAL			
5	PLUMBING			
6	PAVING			
7	LANDSCAPE			
8	ARCHITECTURAL			
9	MECHANICAL			
10	ELECTRICAL			
11	PLUMBING			
12	PAVING			
13	LANDSCAPE			
14	ARCHITECTURAL			
15	MECHANICAL			
16	ELECTRICAL			
17	PLUMBING			
18	PAVING			
19	LANDSCAPE			
20	ARCHITECTURAL			
21	MECHANICAL			
22	ELECTRICAL			
23	PLUMBING			
24	PAVING			
25	LANDSCAPE			
26	ARCHITECTURAL			
27	MECHANICAL			
28	ELECTRICAL			
29	PLUMBING			
30	PAVING			
31	LANDSCAPE			
32	ARCHITECTURAL			
33	MECHANICAL			
34	ELECTRICAL			
35	PLUMBING			
36	PAVING			
37	LANDSCAPE			
38	ARCHITECTURAL			
39	MECHANICAL			
40	ELECTRICAL			
41	PLUMBING			
42	PAVING			
43	LANDSCAPE			
44	ARCHITECTURAL			
45	MECHANICAL			
46	ELECTRICAL			
47	PLUMBING			
48	PAVING			
49	LANDSCAPE			
50	ARCHITECTURAL			

GRAPHIC SYMBOLS



GENERAL NOTES

CODE NOTES

- I. GENERAL NOTES
- II. CONSTRUCTION NOTES
- III. ELECTRICAL
- IV. MECHANICAL
- V. PLUMBING
- VI. PAVING
- VII. LANDSCAPE
- VIII. ARCHITECTURAL
- IX. MECHANICAL
- X. ELECTRICAL
- XI. PLUMBING
- XII. PAVING
- XIII. LANDSCAPE
- XIV. ARCHITECTURAL
- XV. MECHANICAL
- XVI. ELECTRICAL
- XVII. PLUMBING
- XVIII. PAVING
- XIX. LANDSCAPE
- XX. ARCHITECTURAL
- XXI. MECHANICAL
- XXII. ELECTRICAL
- XXIII. PLUMBING
- XXIV. PAVING
- XXV. LANDSCAPE
- XXVI. ARCHITECTURAL
- XXVII. MECHANICAL
- XXVIII. ELECTRICAL
- XXIX. PLUMBING
- XXX. PAVING
- XXXI. LANDSCAPE
- XXXII. ARCHITECTURAL
- XXXIII. MECHANICAL
- XXXIV. ELECTRICAL
- XXXV. PLUMBING
- XXXVI. PAVING
- XXXVII. LANDSCAPE
- XXXVIII. ARCHITECTURAL
- XXXIX. MECHANICAL
- XXXX. ELECTRICAL
- XXXXI. PLUMBING
- XXXXII. PAVING
- XXXXIII. LANDSCAPE
- XXXXIV. ARCHITECTURAL
- XXXXV. MECHANICAL
- XXXXVI. ELECTRICAL
- XXXXVII. PLUMBING
- XXXXVIII. PAVING
- XXXXIX. LANDSCAPE
- XXXXX. ARCHITECTURAL

ABBREVI.

COVER SHEET

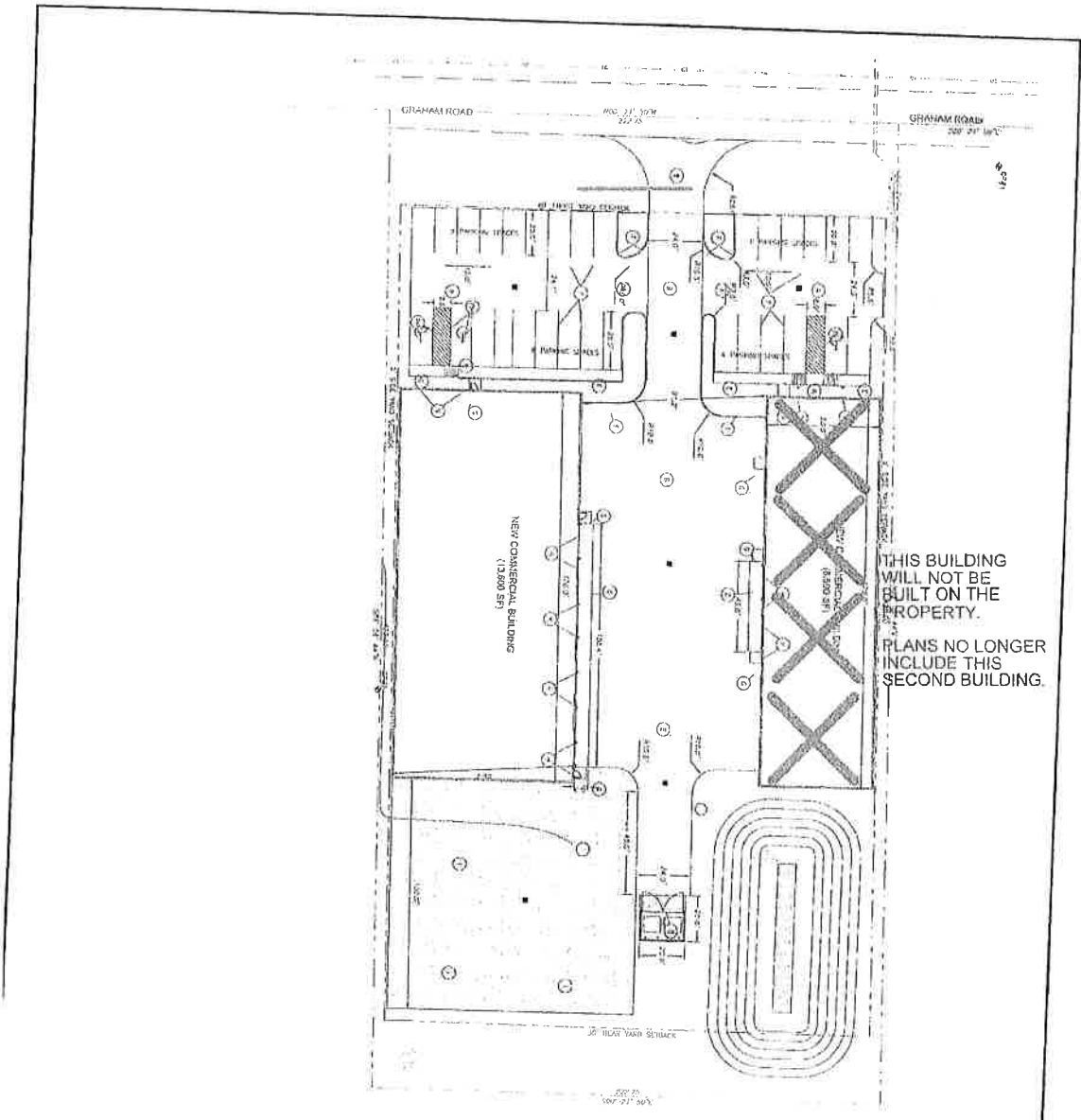
A0.0



Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteland, Indiana 46184

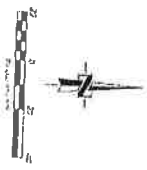


IN+Design, LLC



THIS BUILDING
WILL NOT BE
BUILT ON THE
PROPERTY.
PLANS NO LONGER
INCLUDE THIS
SECOND BUILDING.

- SITE IMPROVEMENTS LEGEND**
- 1. STAINLESS STEEL FENCE, SEE DETAIL SHEET C101
 - 2. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 3. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 4. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 5. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 6. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 7. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 8. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 9. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 10. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 11. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 12. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 13. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 14. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 15. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 16. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 17. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 18. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 19. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101
 - 20. 6" CONCRETE FLOORING, SEE DETAIL SHEET C101



REVISIONS	
No.	Description

PAUL PITME
Professional Engineer
State of Indiana
License No. 12345

AXIS GROUP, LLC
NEW COMMERCIAL BUILDINGS
NORTH GRAHAM RD
WHITELAND, INDIANA

Tescos
TOTAL ENGINEERING SOLUTIONS COMPANY, LLC
10000 N. GRAHAM RD.
WHITELAND, IN 46784
TEL: 317.462.1000
WWW.TESCOS.COM

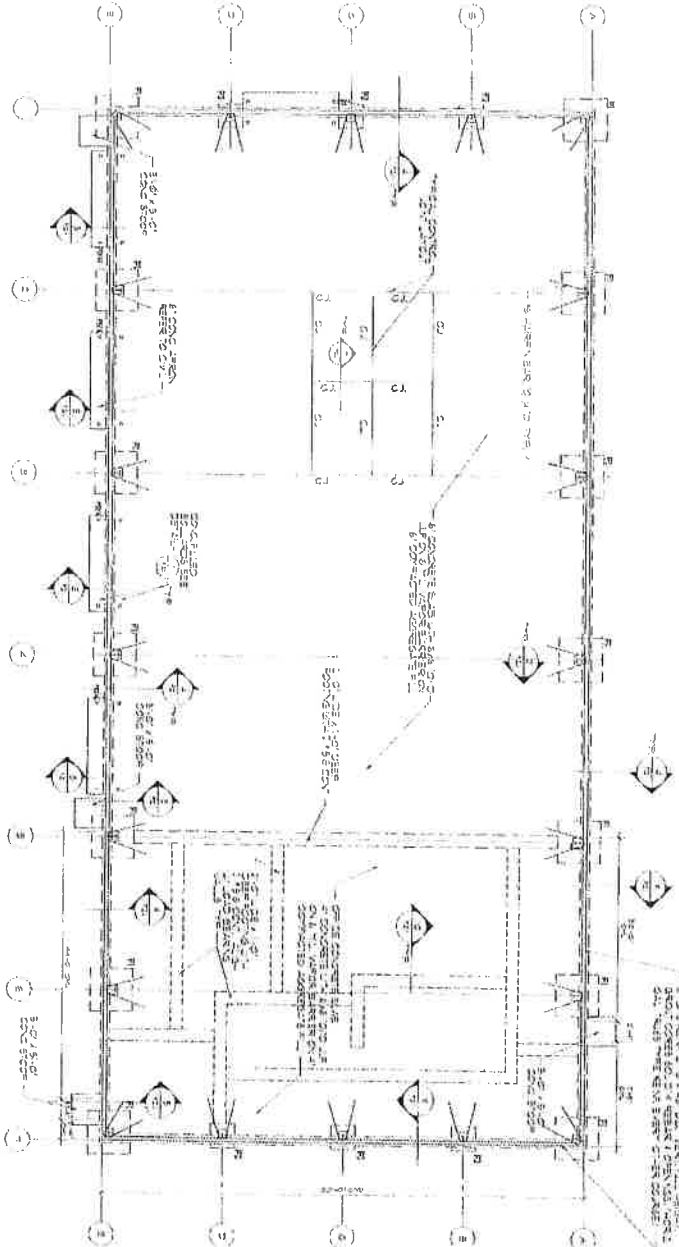
ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED
SEE PLAN FOR ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED
SEE PLAN FOR ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED

1 FOUNDATION PLAN

COLUMN FOOTING SCHEDULE

NO.	DESCRIPTION	FOOTING	COL.	REMARKS
1	30" x 30" x 4'-0"	1	1	1
2	30" x 30" x 4'-0"	1	2	1
3	30" x 30" x 4'-0"	1	3	1
4	30" x 30" x 4'-0"	1	4	1
5	30" x 30" x 4'-0"	1	5	1
6	30" x 30" x 4'-0"	1	6	1
7	30" x 30" x 4'-0"	1	7	1
8	30" x 30" x 4'-0"	1	8	1
9	30" x 30" x 4'-0"	1	9	1
10	30" x 30" x 4'-0"	1	10	1
11	30" x 30" x 4'-0"	1	11	1
12	30" x 30" x 4'-0"	1	12	1
13	30" x 30" x 4'-0"	1	13	1
14	30" x 30" x 4'-0"	1	14	1
15	30" x 30" x 4'-0"	1	15	1
16	30" x 30" x 4'-0"	1	16	1
17	30" x 30" x 4'-0"	1	17	1
18	30" x 30" x 4'-0"	1	18	1
19	30" x 30" x 4'-0"	1	19	1
20	30" x 30" x 4'-0"	1	20	1
21	30" x 30" x 4'-0"	1	21	1
22	30" x 30" x 4'-0"	1	22	1
23	30" x 30" x 4'-0"	1	23	1
24	30" x 30" x 4'-0"	1	24	1
25	30" x 30" x 4'-0"	1	25	1
26	30" x 30" x 4'-0"	1	26	1
27	30" x 30" x 4'-0"	1	27	1
28	30" x 30" x 4'-0"	1	28	1
29	30" x 30" x 4'-0"	1	29	1
30	30" x 30" x 4'-0"	1	30	1

NOTE
1. TOP OF FIN. FLOOR SHALL BE 10'-0" TO ALL
2. TOP OF FOUNDATION SHALL BE 10'-0" TO ALL

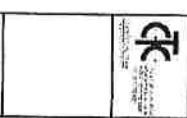


FOUNDATION PLAN
F1.1

Drawn By: MJP
Designed By: MJP
Checked By: MJP
Date: 07/14/21



Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteland, Indiana 46184

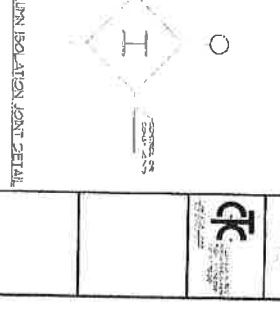
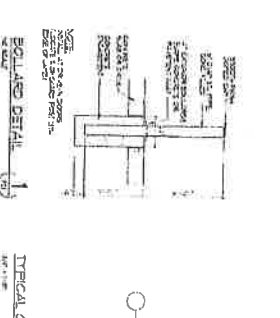
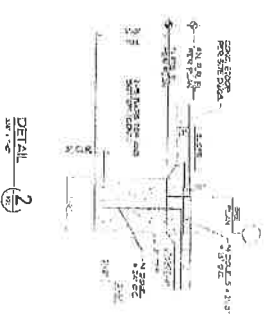
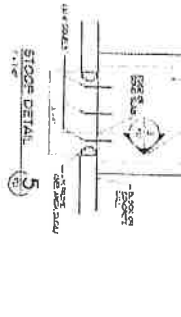
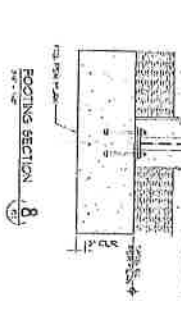
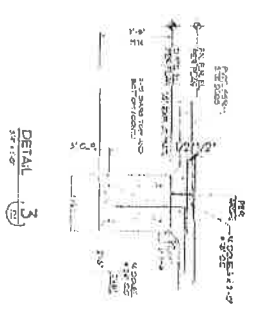
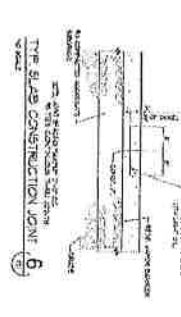
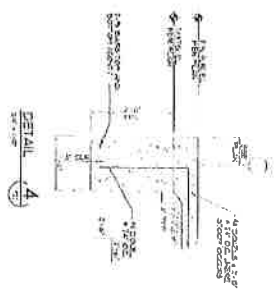
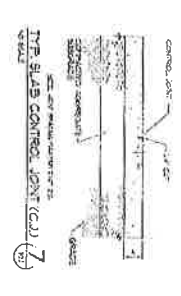
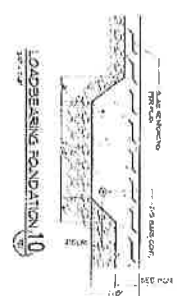


IN-Design, LLC
1111 N. ...
...

1. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

2. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

3. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).



REINFORCED CONCRETE NOTES

1. ALL REINFORCED CONCRETE SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

2. ALL REINFORCED CONCRETE SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

3. ALL REINFORCED CONCRETE SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

GENERAL NOTES

1. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

2. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

3. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

TYPICAL SLAB ON GRADE NOTES

1. ALL TYPICAL SLAB ON GRADE SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

2. ALL TYPICAL SLAB ON GRADE SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

3. ALL TYPICAL SLAB ON GRADE SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

FOUNDATION NOTES

1. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

2. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

3. ALL FOUNDATION DETAILS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

DESIGN LOADS

1. DESIGN LOADS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

2. DESIGN LOADS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

3. DESIGN LOADS SHALL BE CONFORM TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

FOUNDATION DETAILS

F2.1



Axis Fiber Solutions
Axis Building 1
 Graham Road
 Whiteland, Indiana 46184



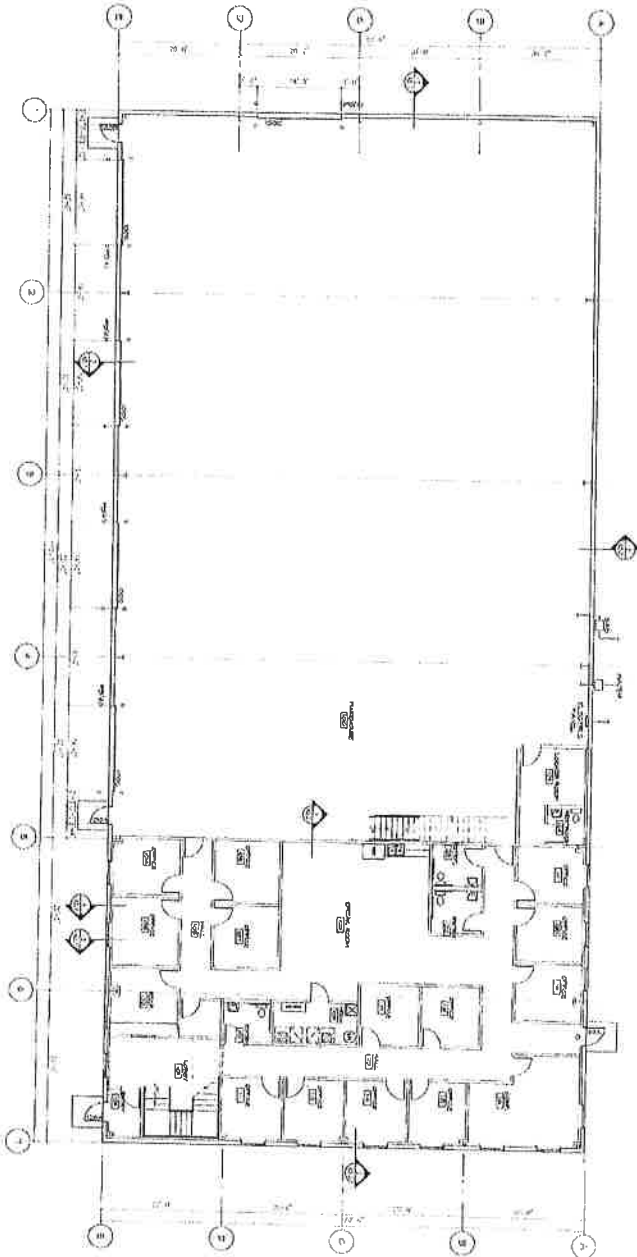
IN+Design, LLC
 11111 N. Meridian Road
 Indianapolis, IN 46220
 (317) 555-1234

See also the attached floor plan sheet 16

PLAN GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED.
3. ALL DOORS ARE 36" WIDE UNLESS OTHERWISE NOTED.
4. ALL WINDOWS ARE 48" WIDE UNLESS OTHERWISE NOTED.
5. ALL CEILING HEIGHTS ARE 10' UNLESS OTHERWISE NOTED.
6. ALL FLOOR FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
7. ALL WALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
8. ALL CEILING FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
9. ALL MECHANICAL, ELECTRICAL AND PLUMBING ARE TO BE DETERMINED BY THE ARCHITECT.
10. ALL STAIRS ARE TO BE DETERMINED BY THE ARCHITECT.
11. ALL ELEVATIONS ARE TO BE DETERMINED BY THE ARCHITECT.
12. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
13. ALL MATERIALS ARE TO BE DETERMINED BY THE ARCHITECT.
14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSOLIDATED MECHANICAL, ELECTRICAL AND PLUMBING (M.E.P.) CODES.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) CODES.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) CODES.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASCE) CODES.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) CODES.

1 Overall Floor Plan



FLOOR PLAN	Drawn by: VSP Designed by: VSP Project No.: 23103 Date: 03/24/23		<p>Axis Fiber Solutions Axis Building 1 Graham Road Whiteland, Indiana 46184</p>		IN-Design, LLC 1111 N.
A1.1					

1. All dimensions are shown in feet and inches. All dimensions are to the center of the member unless otherwise noted.

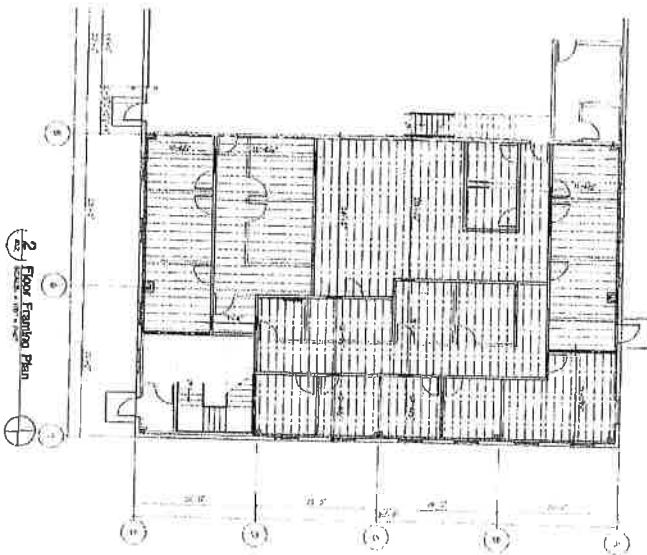
3 Structural Opening Detail

1:12

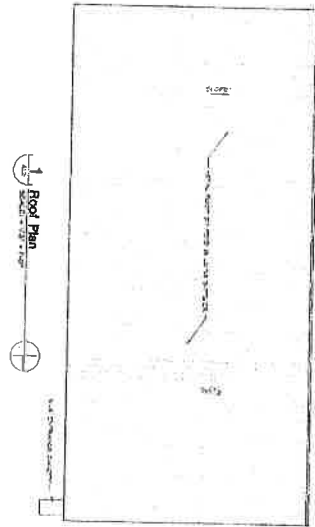


FRAMING PLAN NOTES
1. ALL DIMENSIONS ARE TO THE CENTER OF THE MEMBER UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE IN FEET AND INCHES.
3. ALL DIMENSIONS ARE TO THE CENTER OF THE MEMBER UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE IN FEET AND INCHES.
5. ALL DIMENSIONS ARE TO THE CENTER OF THE MEMBER UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE IN FEET AND INCHES.

2 Floor Framing Plan



1 Roof Plan



ROOF & FLOOR FRAMING PLAN

A1.2

Drawn By: MJP
Designed By: MJP
Project No.: 23103
Date: 03/09/23
Revision:

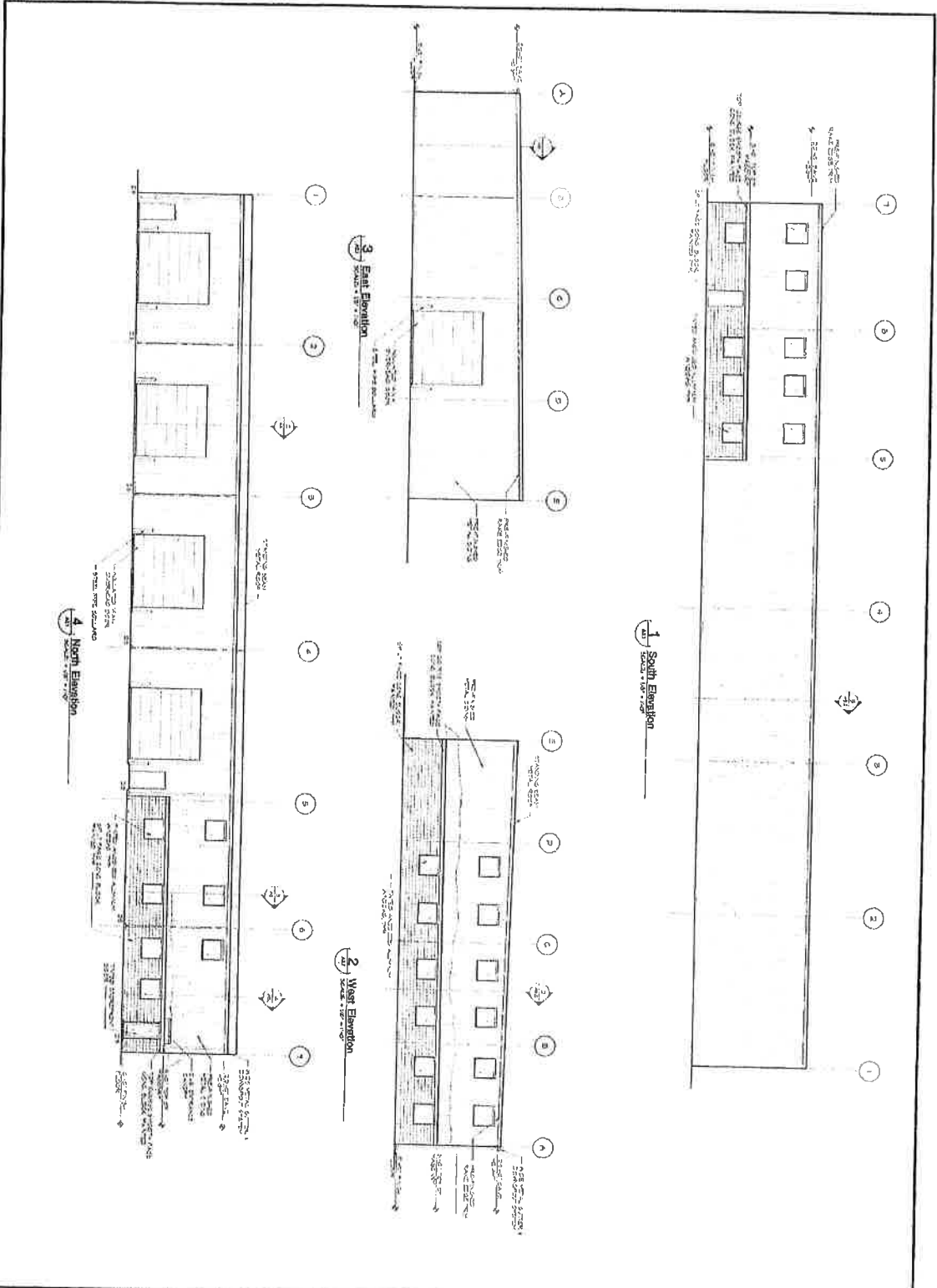
PRELIMINARY
NOT FOR
CONSTRUCTION

Axis Fiber Solutions
Axis Building 1
xxxx Graham Road
Greenwood, Indiana 46143



IN-Design, LLC

THE CLIENT'S RESPONSIBILITY IS TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT AND TO OBTAIN NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



EXTERIOR ELEVATIONS

A2.1

Drawn by: MJP
 Checked by: MJP
 Project No.: 21103
 Date: 02/14/21

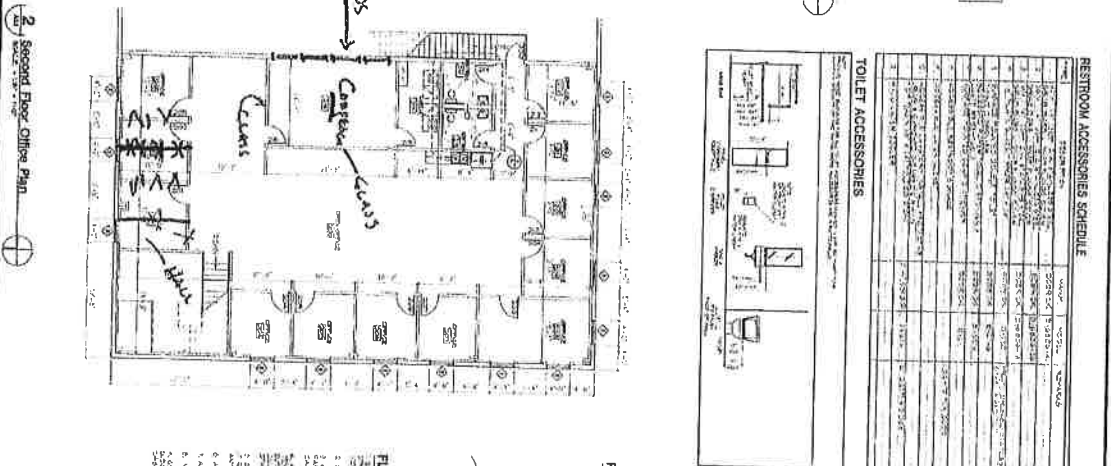
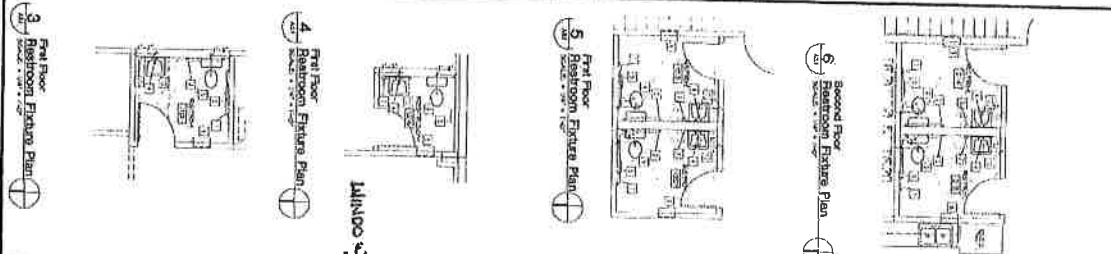


Axis Fiber Solutions
Axis Building 1
 Graham Road
 Whiteland, Indiana 46184



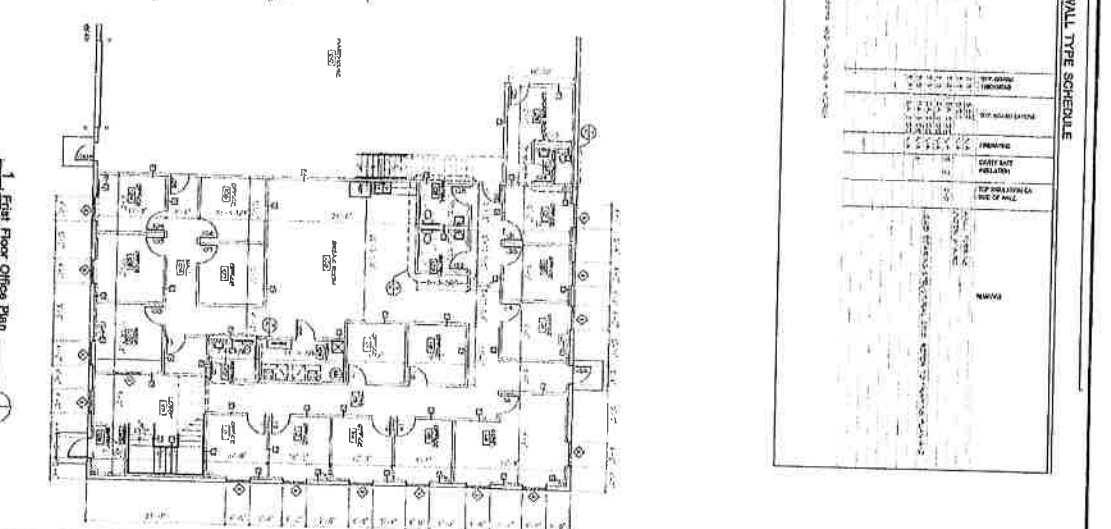
IN+Design, LLC
 11111 N. Meridian Street
 Indianapolis, IN 46220
 Phone: 317.562.1111
 Fax: 317.562.1112
 Email: info@inplusdesign.com

1. All work shall be in accordance with the approved plans and specifications.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall maintain access to all existing utilities.
 4. The contractor shall protect all existing work.
 5. The contractor shall be responsible for the removal and disposal of all debris.
 6. The contractor shall be responsible for the cleanup of the work area.
 7. The contractor shall be responsible for the safety of all workers.
 8. The contractor shall be responsible for the protection of the environment.
 9. The contractor shall be responsible for the quality of the work.
 10. The contractor shall be responsible for the completion of the work within the specified time frame.



RESTROOM ACCESSORIES SCHEDULE

NO.	DESCRIPTION	QTY.	UNIT	REMARKS
1	TOILET PAPER DISPENSER	2	EACH	
2	HAND DRYER	2	EACH	
3	MIRROR	2	EACH	
4	PAPER TOWEL DISPENSER	2	EACH	
5	TOILET BRUSH	2	EACH	
6	TOILET BRUSH HOLDER	2	EACH	
7	TOILET SEAT	2	EACH	
8	TOILET SEAT PIN	2	EACH	
9	TOILET SEAT COVER	2	EACH	
10	TOILET SEAT COVER PIN	2	EACH	
11	TOILET SEAT COVER PIN	2	EACH	
12	TOILET SEAT COVER PIN	2	EACH	
13	TOILET SEAT COVER PIN	2	EACH	
14	TOILET SEAT COVER PIN	2	EACH	
15	TOILET SEAT COVER PIN	2	EACH	
16	TOILET SEAT COVER PIN	2	EACH	
17	TOILET SEAT COVER PIN	2	EACH	
18	TOILET SEAT COVER PIN	2	EACH	
19	TOILET SEAT COVER PIN	2	EACH	
20	TOILET SEAT COVER PIN	2	EACH	



FLOOR PLAN GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP OF THE WORK AREA.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE WORK WITHIN THE SPECIFIED TIME FRAME.

OFFICE PLANS

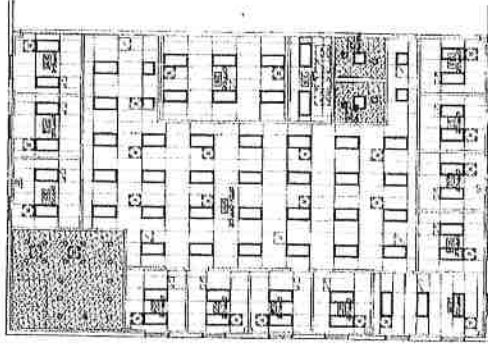
A3.1

Drawn By: [Name]
 Checked By: [Name]
 Date: 07/11/21

Axis Fiber Solutions
Axis Building 1
 Graham Road
 Whiteland, Indiana 46184

IN+Design LLC

2 Second Floor Office Ceiling Plan

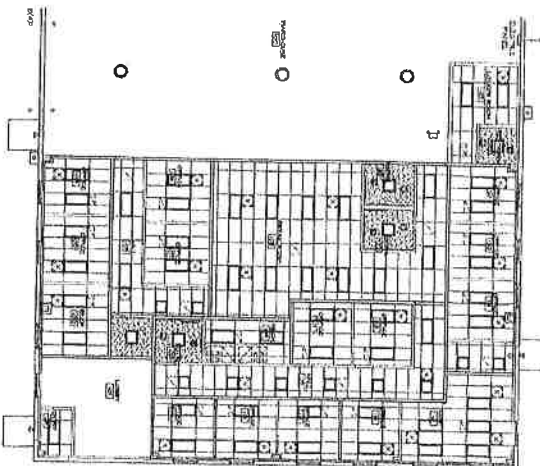


BEFORE CEILING PLAN LEGEND
1. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.
2. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.
3. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.

- 1. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.
- 2. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.
- 3. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.

BEFORE CEILING PLAN LEGEND
1. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.
2. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.
3. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL OTHER APPLICABLE CODES.

1 First Floor Office Ceiling Plan



OFFICE CEILING PLANS
A3.2

Drawn by: MJP
Designed by: MJP
Checked by: MJP
Date: 03/24/23



Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteland, Indiana 46184



IN-Design, LLC
1111 N. State Street
Indianapolis, IN 46202
Phone: 317.576.1111
www.in-design.com

DO NOT SCALE DRAWING. ALL DIMENSIONS SHALL BE TAKEN FROM THE DRAWING. DIMENSIONS SHALL BE IN UNLESS OTHERWISE NOTED.

FINISH GENERAL NOTES

1. All finish work shall be in accordance with the specifications and schedule. 2. All finish work shall be installed in accordance with the manufacturer's instructions. 3. All finish work shall be installed in accordance with the applicable building codes. 4. All finish work shall be installed in accordance with the applicable fire codes. 5. All finish work shall be installed in accordance with the applicable accessibility codes. 6. All finish work shall be installed in accordance with the applicable safety codes. 7. All finish work shall be installed in accordance with the applicable health codes. 8. All finish work shall be installed in accordance with the applicable environmental codes. 9. All finish work shall be installed in accordance with the applicable energy codes. 10. All finish work shall be installed in accordance with the applicable sustainability codes.

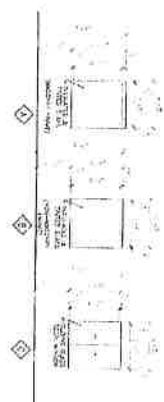
FINISH SCHEDULE

Room	Finish	Material	Quantity	Unit	Notes
101	WALL	1/2" GYP BOARD	100	SQ. FT.	
101	CEILING	6" GYP BOARD	100	SQ. FT.	
101	FLOOR	4" CONCRETE	100	SQ. FT.	
101	DOOR	1 1/2" GYP BOARD	1	EA.	
101	WINDOW	1 1/2" GYP BOARD	1	EA.	

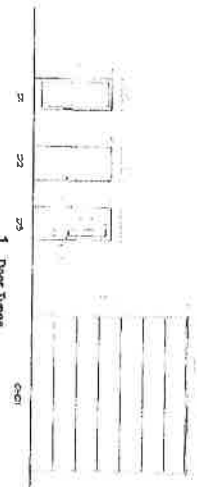
2. Frame Types



3. Window Types



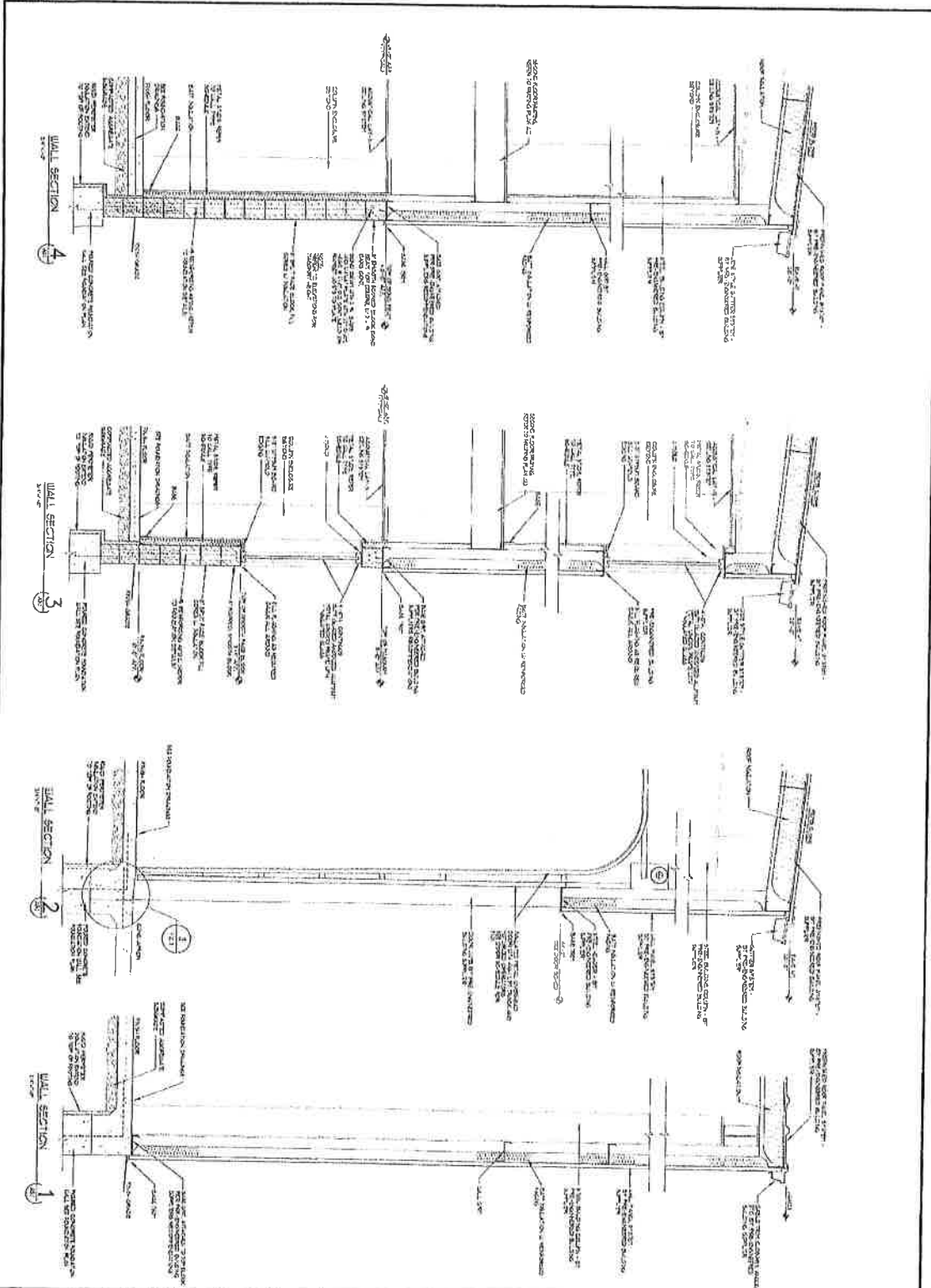
1. Door Types



Room	Finish	Material	Quantity	Unit	Notes
101	WALL	1/2" GYP BOARD	100	SQ. FT.	
101	CEILING	6" GYP BOARD	100	SQ. FT.	
101	FLOOR	4" CONCRETE	100	SQ. FT.	
101	DOOR	1 1/2" GYP BOARD	1	EA.	
101	WINDOW	1 1/2" GYP BOARD	1	EA.	
102	WALL	1/2" GYP BOARD	100	SQ. FT.	
102	CEILING	6" GYP BOARD	100	SQ. FT.	
102	FLOOR	4" CONCRETE	100	SQ. FT.	
102	DOOR	1 1/2" GYP BOARD	1	EA.	
102	WINDOW	1 1/2" GYP BOARD	1	EA.	
103	WALL	1/2" GYP BOARD	100	SQ. FT.	
103	CEILING	6" GYP BOARD	100	SQ. FT.	
103	FLOOR	4" CONCRETE	100	SQ. FT.	
103	DOOR	1 1/2" GYP BOARD	1	EA.	
103	WINDOW	1 1/2" GYP BOARD	1	EA.	

DOOR & FINISH SCHEDULE	Drawn By: MEP Checked By: RIG Date: 6/14/21		Axis Fiber Solutions Axis Building 1 Graham Road Whiteland, Indiana 46184		
A4.1					

1. All work shall be in accordance with the specifications and drawings of the project.



WALL SECTIONS
A5.1

Drawn by: MJP
 Design by: MJP
 Project No.: 23103
 Date: 02/14/21



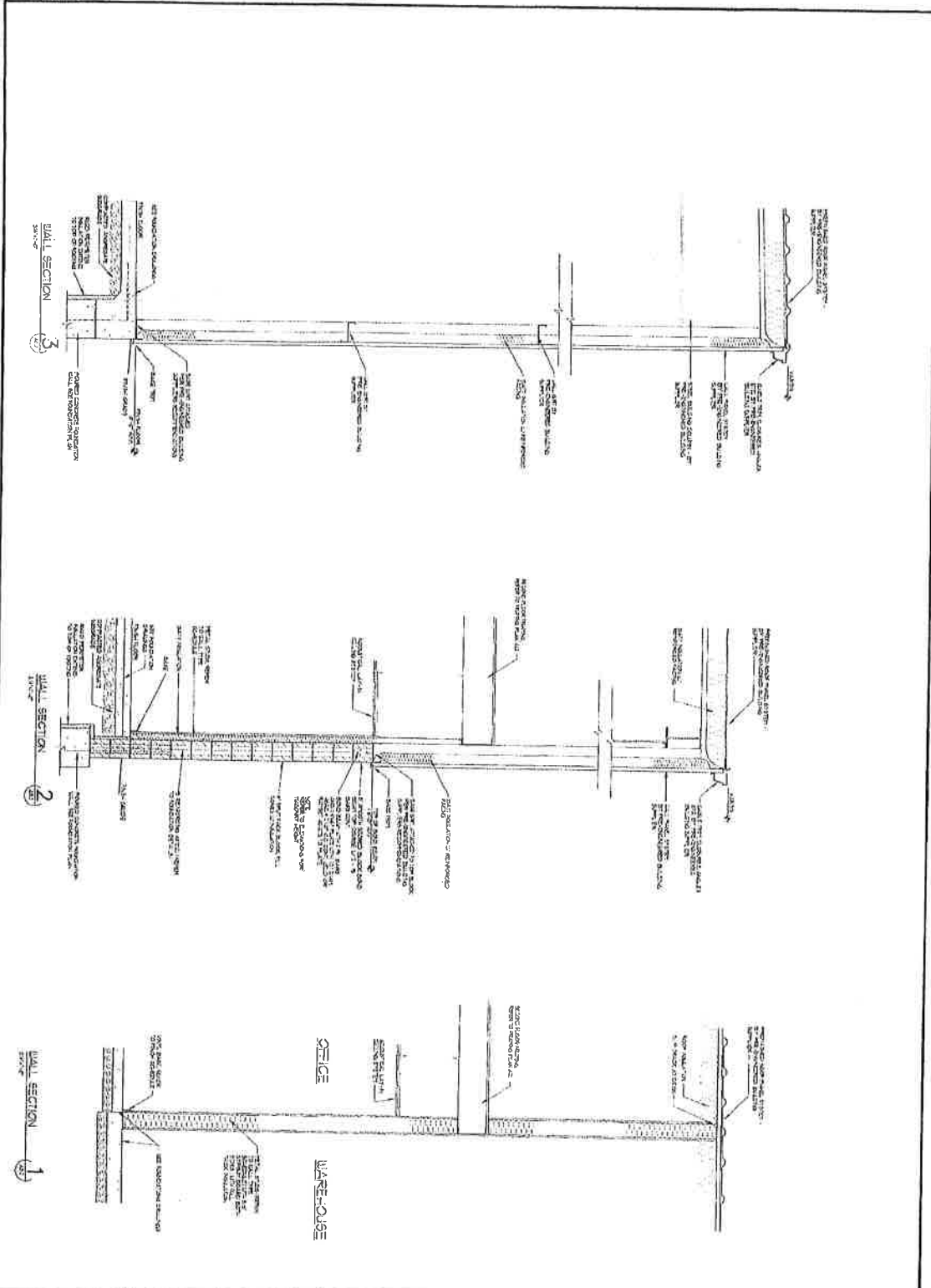
Axis Fiber Solutions
Axis Building 1
 Graham Road
 Whiteland, Indiana 46184



N+D Design, LLC
 1111 N. State Street
 Indianapolis, IN 46202
 Phone: 317.251.1111
 Fax: 317.251.1112
 Email: info@nddesign.com



1. All work shall be in accordance with the specifications and drawings of the project.



WALL SECTIONS

A5.2

Drawn By: MEF
 Designed By: MEF
 Project No.: 13185
 Date: 02/14/21
 Plotdate:

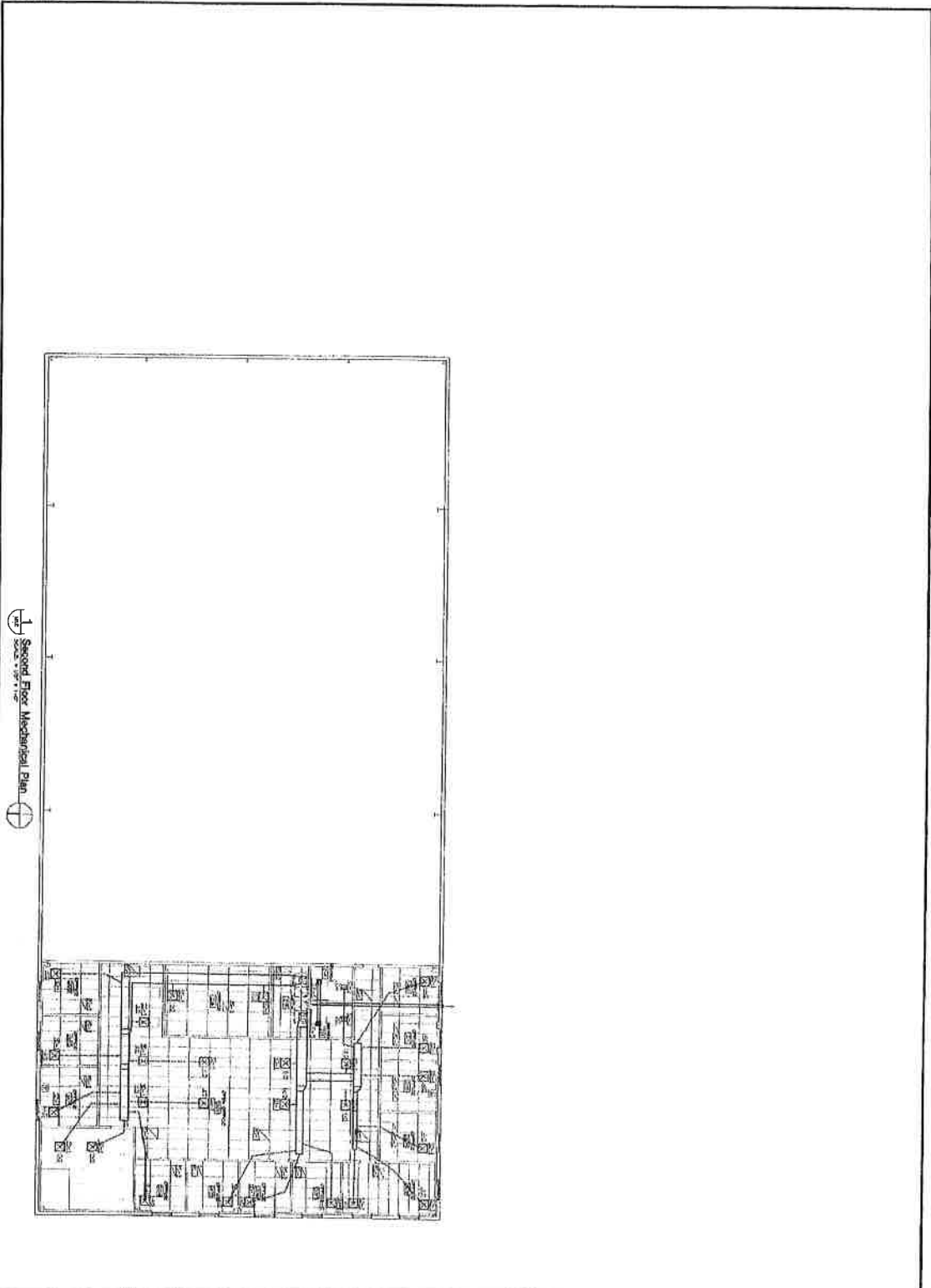


Axis Fiber Solutions
Axis Building 1
 Graham Road
 Whitelet, Indiana 46184



IN-Design, LLC
 1000 N. State Street
 Indianapolis, IN 46202
 Phone: 317.571.1111
 Fax: 317.571.1112
 Email: info@in-design.com

See notes on page 25 of the Bid Book for details on the mechanical system and equipment to be provided by the contractor.

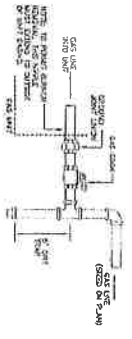
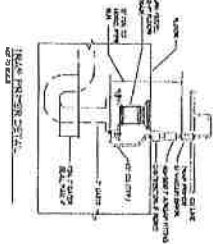
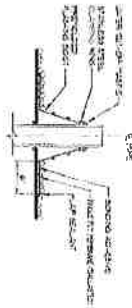


Second Floor Mechanical Plan

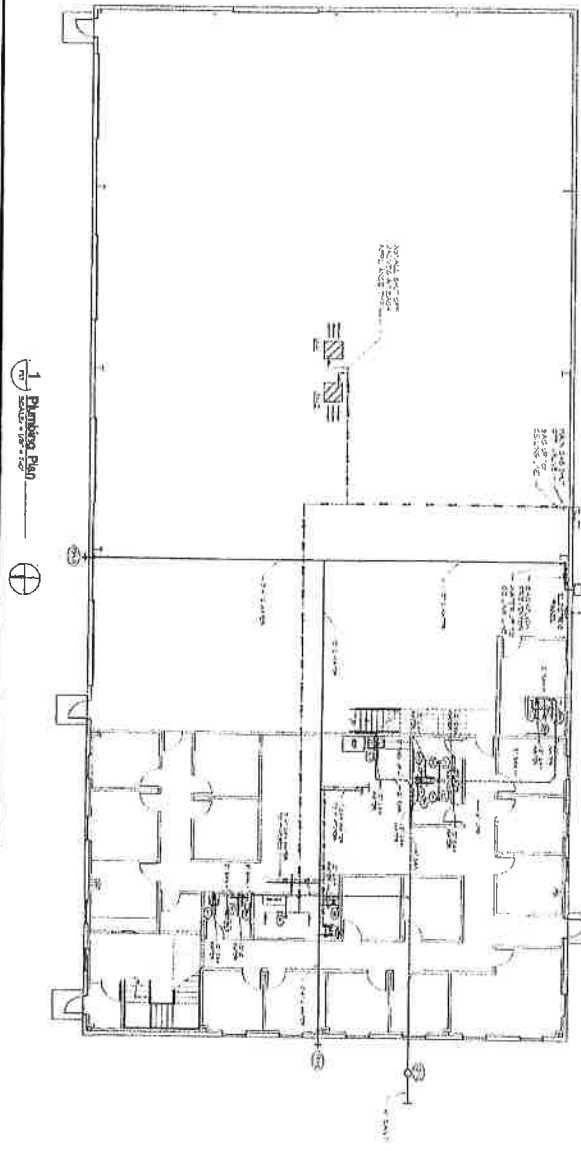
<p>SECOND FLOOR MECH. PLAN</p>	<p>Drawn by: MIF Designed by: MIF Project No: 21003 Date: 07/21/21 Revised:</p>	 <p><i>Paul Pittma</i></p>	<p>Axis Fiber Solutions Axis Building 1 Graham Road Whitestown, Indiana 46184</p>		<p>IN+Design, LLC 1000 N. State St. Bloomington, IN 47403 731.376.1234</p>	
<p>M1.2</p>						

PLUMBING NOTES

- 1. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 2. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 3. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 4. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 5. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 6. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 7. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 8. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 9. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 10. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 11. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 12. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 13. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 14. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 15. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 16. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 17. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 18. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 19. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.
- 20. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 INTERNATIONAL PLUMBING CODE AND THE 2021 INTERNATIONAL MECHANICAL CODE.



TYPICAL GAS CONNECTION DETAIL



NO.	SYMBOL	DESCRIPTION	QUANTITY	UNIT	DATE	REVISIONS
1	1/2" CPVC	1/2" CPVC PIPE	100	FT	03/28/23	
2	1/2" CPVC	1/2" CPVC ELBOW	50	PC	03/28/23	
3	1/2" CPVC	1/2" CPVC TEE	20	PC	03/28/23	
4	1/2" CPVC	1/2" CPVC END CAP	10	PC	03/28/23	
5	1/2" CPVC	1/2" CPVC UNION	10	PC	03/28/23	
6	1/2" CPVC	1/2" CPVC GROMMET	10	PC	03/28/23	
7	1/2" CPVC	1/2" CPVC GLASS WOLFF	10	PC	03/28/23	
8	1/2" CPVC	1/2" CPVC GASKET	10	PC	03/28/23	
9	1/2" CPVC	1/2" CPVC FLANGE	10	PC	03/28/23	
10	1/2" CPVC	1/2" CPVC NUT	10	PC	03/28/23	
11	1/2" CPVC	1/2" CPVC WASHER	10	PC	03/28/23	
12	1/2" CPVC	1/2" CPVC BUSHING	10	PC	03/28/23	
13	1/2" CPVC	1/2" CPVC ADAPTER	10	PC	03/28/23	
14	1/2" CPVC	1/2" CPVC REDUCER	10	PC	03/28/23	
15	1/2" CPVC	1/2" CPVC EXPANSION JOINT	10	PC	03/28/23	
16	1/2" CPVC	1/2" CPVC STRAINER	10	PC	03/28/23	
17	1/2" CPVC	1/2" CPVC CLEANOUT	10	PC	03/28/23	
18	1/2" CPVC	1/2" CPVC AIR RELEASE	10	PC	03/28/23	
19	1/2" CPVC	1/2" CPVC CHECK VALVE	10	PC	03/28/23	
20	1/2" CPVC	1/2" CPVC STOP VALVE	10	PC	03/28/23	

PLUMBING PLAN
P.1.1

Drawn By: HEP
Designed By: HEP
Checked By: HEP
Date: 03/28/23

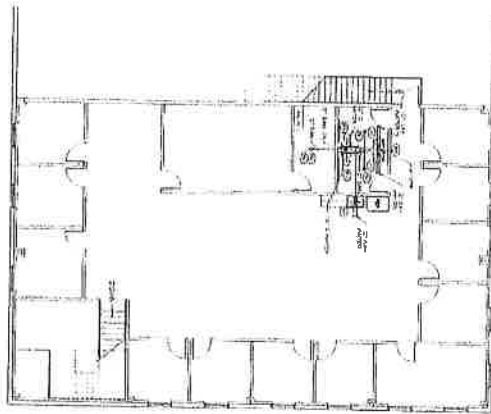
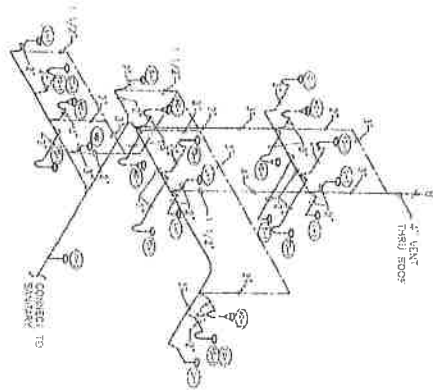


Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteland, Indiana 46184



1. This drawing is the property of Axis Fiber Solutions, LLC. It is to be used only for the project and location specified on the title block. It is not to be reproduced, copied, or used for any other project without the written consent of Axis Fiber Solutions, LLC.

SANITARY WASTE RISER DIAGRAM



1 Second Floor Plumbing Plan

SECOND FLOOR PLUMBING PLAN

P1.2

Drawn By: MJP
Designed By: RLB
Project No: 23001
Date: 07/13/21

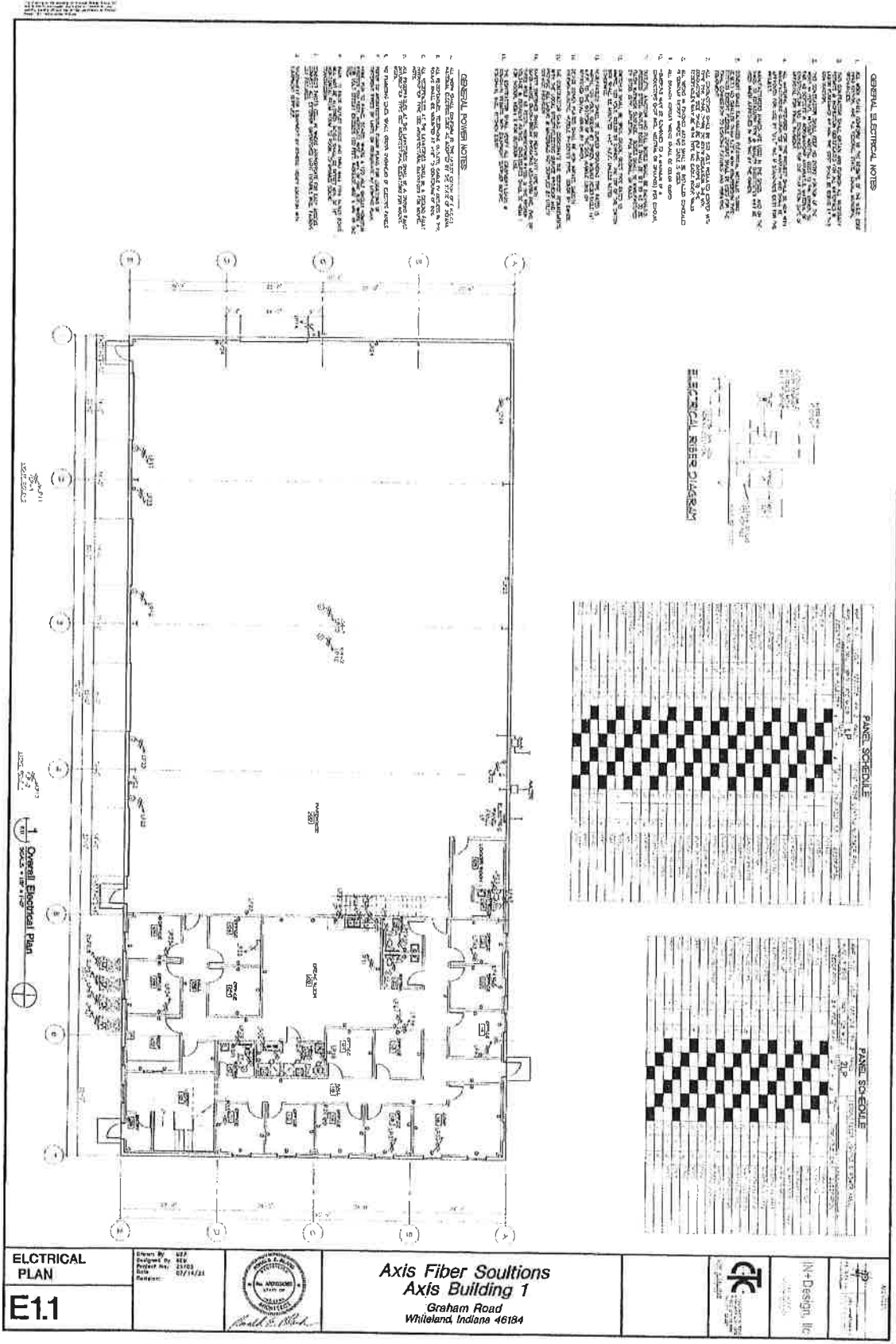


Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteletland, Indiana 46184



IN+Design, LLC

13179734143



- GENERAL ELECTRICAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 4. THE CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ALL EXISTING ELECTRICAL PANELS AND EQUIPMENT.
 5. ALL ELECTRICAL WORK SHALL BE TESTED AND INSPECTED BY A LICENSED ELECTRICIAN.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL ELECTRICAL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK AREA AT ALL TIMES.
 9. ALL ELECTRICAL WORK SHALL BE DOCUMENTED WITH AS-BUILT DRAWINGS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND EQUIPMENT.
 11. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 13. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 14. THE CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ALL EXISTING ELECTRICAL PANELS AND EQUIPMENT.
 15. ALL ELECTRICAL WORK SHALL BE TESTED AND INSPECTED BY A LICENSED ELECTRICIAN.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 17. ALL ELECTRICAL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 18. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK AREA AT ALL TIMES.
 19. ALL ELECTRICAL WORK SHALL BE DOCUMENTED WITH AS-BUILT DRAWINGS.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND EQUIPMENT.



PANEL SCHEDULE

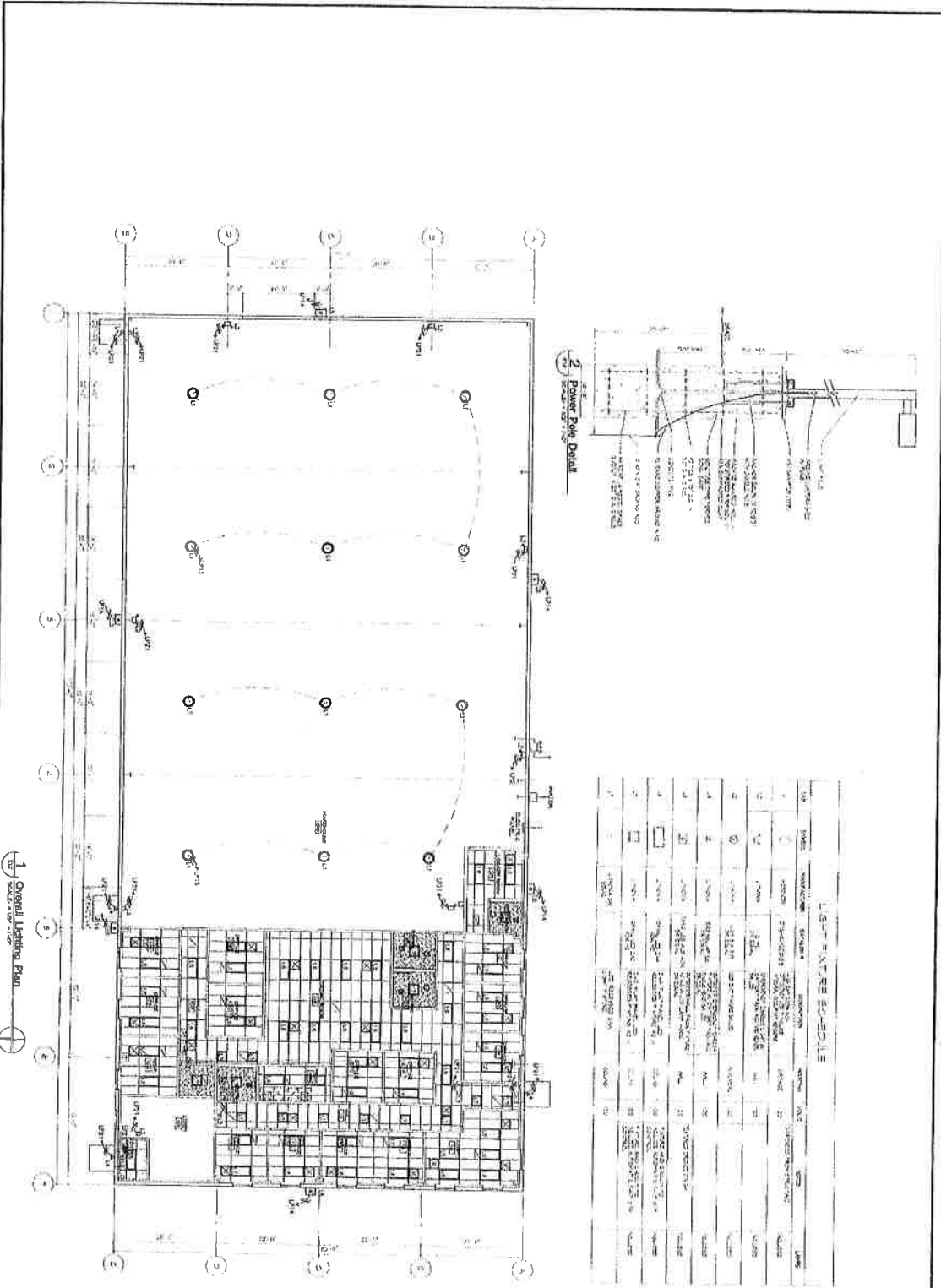
Panel No.	Location	Panel Type	Panel Rating	Panel Description
1	Room 101	Panel	100A	100A Panel
2	Room 102	Panel	100A	100A Panel
3	Room 103	Panel	100A	100A Panel
4	Room 104	Panel	100A	100A Panel
5	Room 105	Panel	100A	100A Panel
6	Room 106	Panel	100A	100A Panel
7	Room 107	Panel	100A	100A Panel
8	Room 108	Panel	100A	100A Panel
9	Room 109	Panel	100A	100A Panel
10	Room 110	Panel	100A	100A Panel

PANEL SCHEDULE

Panel No.	Location	Panel Type	Panel Rating	Panel Description
11	Room 111	Panel	100A	100A Panel
12	Room 112	Panel	100A	100A Panel
13	Room 113	Panel	100A	100A Panel
14	Room 114	Panel	100A	100A Panel
15	Room 115	Panel	100A	100A Panel
16	Room 116	Panel	100A	100A Panel
17	Room 117	Panel	100A	100A Panel
18	Room 118	Panel	100A	100A Panel
19	Room 119	Panel	100A	100A Panel
20	Room 120	Panel	100A	100A Panel

ELECTRICAL PLAN	Drawn By: LEP		Axis Fiber Solutions Axis Building 1 Graham Road Whiteland, Indiana 46184	
	Checked By: REP			
E.1.1				

As noted on the sheets of related drawings, all dimensions are in feet and inches unless otherwise noted.



NO.	DESCRIPTION	QUANTITY	UNIT	NOTES
1	100' TOWER	1	EA	SEE POWER POLE DETAIL
2	100' TOWER	1	EA	SEE POWER POLE DETAIL
3	100' TOWER	1	EA	SEE POWER POLE DETAIL
4	100' TOWER	1	EA	SEE POWER POLE DETAIL
5	100' TOWER	1	EA	SEE POWER POLE DETAIL
6	100' TOWER	1	EA	SEE POWER POLE DETAIL
7	100' TOWER	1	EA	SEE POWER POLE DETAIL
8	100' TOWER	1	EA	SEE POWER POLE DETAIL
9	100' TOWER	1	EA	SEE POWER POLE DETAIL
10	100' TOWER	1	EA	SEE POWER POLE DETAIL
11	100' TOWER	1	EA	SEE POWER POLE DETAIL
12	100' TOWER	1	EA	SEE POWER POLE DETAIL
13	100' TOWER	1	EA	SEE POWER POLE DETAIL
14	100' TOWER	1	EA	SEE POWER POLE DETAIL
15	100' TOWER	1	EA	SEE POWER POLE DETAIL
16	100' TOWER	1	EA	SEE POWER POLE DETAIL
17	100' TOWER	1	EA	SEE POWER POLE DETAIL
18	100' TOWER	1	EA	SEE POWER POLE DETAIL
19	100' TOWER	1	EA	SEE POWER POLE DETAIL
20	100' TOWER	1	EA	SEE POWER POLE DETAIL
21	100' TOWER	1	EA	SEE POWER POLE DETAIL
22	100' TOWER	1	EA	SEE POWER POLE DETAIL
23	100' TOWER	1	EA	SEE POWER POLE DETAIL
24	100' TOWER	1	EA	SEE POWER POLE DETAIL
25	100' TOWER	1	EA	SEE POWER POLE DETAIL
26	100' TOWER	1	EA	SEE POWER POLE DETAIL
27	100' TOWER	1	EA	SEE POWER POLE DETAIL
28	100' TOWER	1	EA	SEE POWER POLE DETAIL
29	100' TOWER	1	EA	SEE POWER POLE DETAIL
30	100' TOWER	1	EA	SEE POWER POLE DETAIL
31	100' TOWER	1	EA	SEE POWER POLE DETAIL
32	100' TOWER	1	EA	SEE POWER POLE DETAIL
33	100' TOWER	1	EA	SEE POWER POLE DETAIL
34	100' TOWER	1	EA	SEE POWER POLE DETAIL
35	100' TOWER	1	EA	SEE POWER POLE DETAIL
36	100' TOWER	1	EA	SEE POWER POLE DETAIL
37	100' TOWER	1	EA	SEE POWER POLE DETAIL
38	100' TOWER	1	EA	SEE POWER POLE DETAIL
39	100' TOWER	1	EA	SEE POWER POLE DETAIL
40	100' TOWER	1	EA	SEE POWER POLE DETAIL
41	100' TOWER	1	EA	SEE POWER POLE DETAIL
42	100' TOWER	1	EA	SEE POWER POLE DETAIL
43	100' TOWER	1	EA	SEE POWER POLE DETAIL
44	100' TOWER	1	EA	SEE POWER POLE DETAIL
45	100' TOWER	1	EA	SEE POWER POLE DETAIL
46	100' TOWER	1	EA	SEE POWER POLE DETAIL
47	100' TOWER	1	EA	SEE POWER POLE DETAIL
48	100' TOWER	1	EA	SEE POWER POLE DETAIL
49	100' TOWER	1	EA	SEE POWER POLE DETAIL
50	100' TOWER	1	EA	SEE POWER POLE DETAIL
51	100' TOWER	1	EA	SEE POWER POLE DETAIL
52	100' TOWER	1	EA	SEE POWER POLE DETAIL
53	100' TOWER	1	EA	SEE POWER POLE DETAIL
54	100' TOWER	1	EA	SEE POWER POLE DETAIL
55	100' TOWER	1	EA	SEE POWER POLE DETAIL
56	100' TOWER	1	EA	SEE POWER POLE DETAIL
57	100' TOWER	1	EA	SEE POWER POLE DETAIL
58	100' TOWER	1	EA	SEE POWER POLE DETAIL
59	100' TOWER	1	EA	SEE POWER POLE DETAIL
60	100' TOWER	1	EA	SEE POWER POLE DETAIL
61	100' TOWER	1	EA	SEE POWER POLE DETAIL
62	100' TOWER	1	EA	SEE POWER POLE DETAIL
63	100' TOWER	1	EA	SEE POWER POLE DETAIL
64	100' TOWER	1	EA	SEE POWER POLE DETAIL
65	100' TOWER	1	EA	SEE POWER POLE DETAIL
66	100' TOWER	1	EA	SEE POWER POLE DETAIL
67	100' TOWER	1	EA	SEE POWER POLE DETAIL
68	100' TOWER	1	EA	SEE POWER POLE DETAIL
69	100' TOWER	1	EA	SEE POWER POLE DETAIL
70	100' TOWER	1	EA	SEE POWER POLE DETAIL
71	100' TOWER	1	EA	SEE POWER POLE DETAIL
72	100' TOWER	1	EA	SEE POWER POLE DETAIL
73	100' TOWER	1	EA	SEE POWER POLE DETAIL
74	100' TOWER	1	EA	SEE POWER POLE DETAIL
75	100' TOWER	1	EA	SEE POWER POLE DETAIL
76	100' TOWER	1	EA	SEE POWER POLE DETAIL
77	100' TOWER	1	EA	SEE POWER POLE DETAIL
78	100' TOWER	1	EA	SEE POWER POLE DETAIL
79	100' TOWER	1	EA	SEE POWER POLE DETAIL
80	100' TOWER	1	EA	SEE POWER POLE DETAIL
81	100' TOWER	1	EA	SEE POWER POLE DETAIL
82	100' TOWER	1	EA	SEE POWER POLE DETAIL
83	100' TOWER	1	EA	SEE POWER POLE DETAIL
84	100' TOWER	1	EA	SEE POWER POLE DETAIL
85	100' TOWER	1	EA	SEE POWER POLE DETAIL
86	100' TOWER	1	EA	SEE POWER POLE DETAIL
87	100' TOWER	1	EA	SEE POWER POLE DETAIL
88	100' TOWER	1	EA	SEE POWER POLE DETAIL
89	100' TOWER	1	EA	SEE POWER POLE DETAIL
90	100' TOWER	1	EA	SEE POWER POLE DETAIL
91	100' TOWER	1	EA	SEE POWER POLE DETAIL
92	100' TOWER	1	EA	SEE POWER POLE DETAIL
93	100' TOWER	1	EA	SEE POWER POLE DETAIL
94	100' TOWER	1	EA	SEE POWER POLE DETAIL
95	100' TOWER	1	EA	SEE POWER POLE DETAIL
96	100' TOWER	1	EA	SEE POWER POLE DETAIL
97	100' TOWER	1	EA	SEE POWER POLE DETAIL
98	100' TOWER	1	EA	SEE POWER POLE DETAIL
99	100' TOWER	1	EA	SEE POWER POLE DETAIL
100	100' TOWER	1	EA	SEE POWER POLE DETAIL

LIGHTING PLAN
E1.2

DESIGN BY: JEP
CHECKED BY: JEP
DATE: 02/15/23



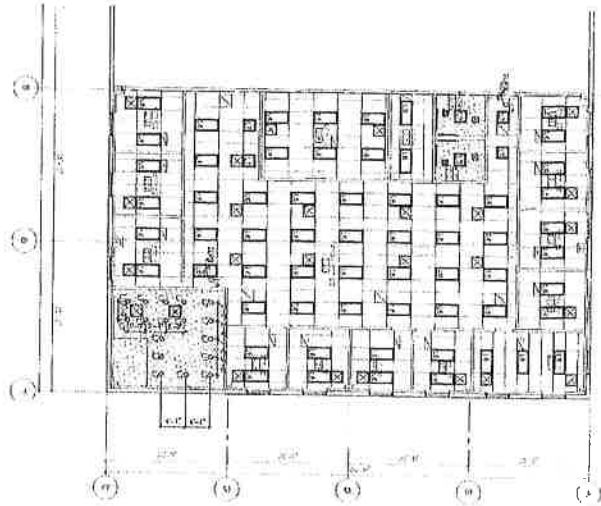
Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteland, Indiana 46184



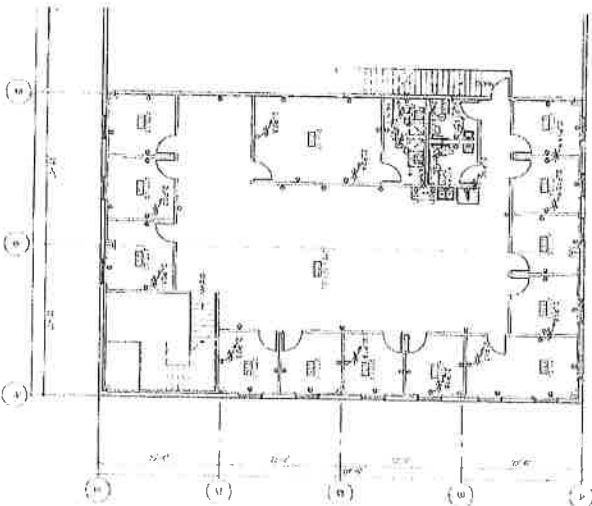
IN+Design, LLC
1000 N. ...
...

Axis Fiber Solutions
Graham Road
Whiteland, Indiana 46184
Tel: 317.234.1414
Fax: 317.234.1415
www.axisfiber.com

2 Second Floor Lighting Plan



1 Second Floor Reception Plan



SECOND FLR. POWER & LIGHTING

E1.3

Drawn By: MDP
Designed By: MDP
Project No.: 21103
Date: 02/14/23



Axis Fiber Solutions
Axis Building 1
Graham Road
Whiteland, Indiana 46184



IN+Design, LLC
1100 N. State Street
Indianapolis, IN 46202
Tel: 317.234.1414
Fax: 317.234.1415
www.in-design.com